

Site Development Plans

COVER - GENERAL NOTES - LEGEND PLAN

Issued for : Site Plan Review

Date Issued - June 5, 2014 Revised Thru - August 21, 2014

Job Number - 2014-014

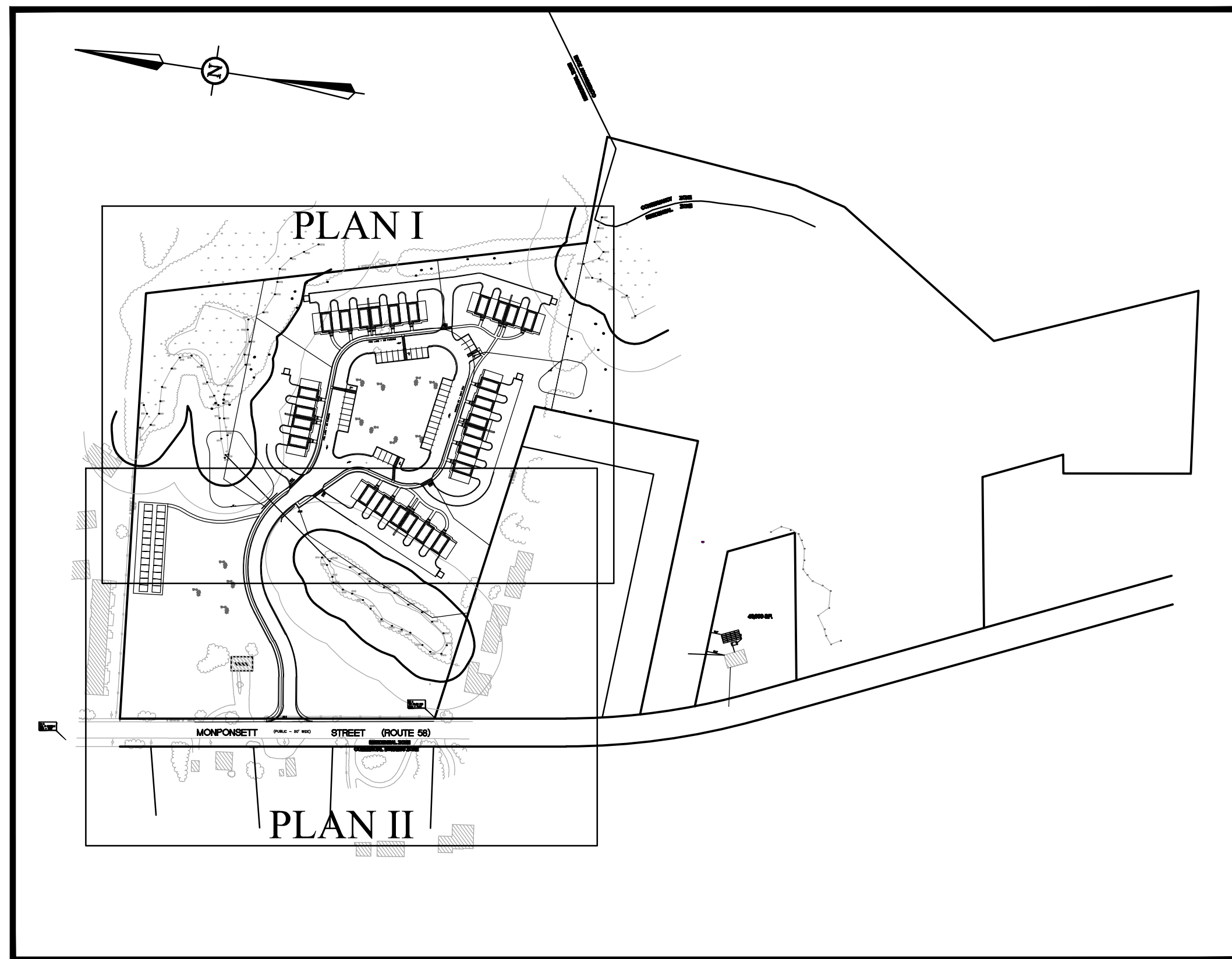
Index

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3	Existing Conditions Plan II	08-21-2014
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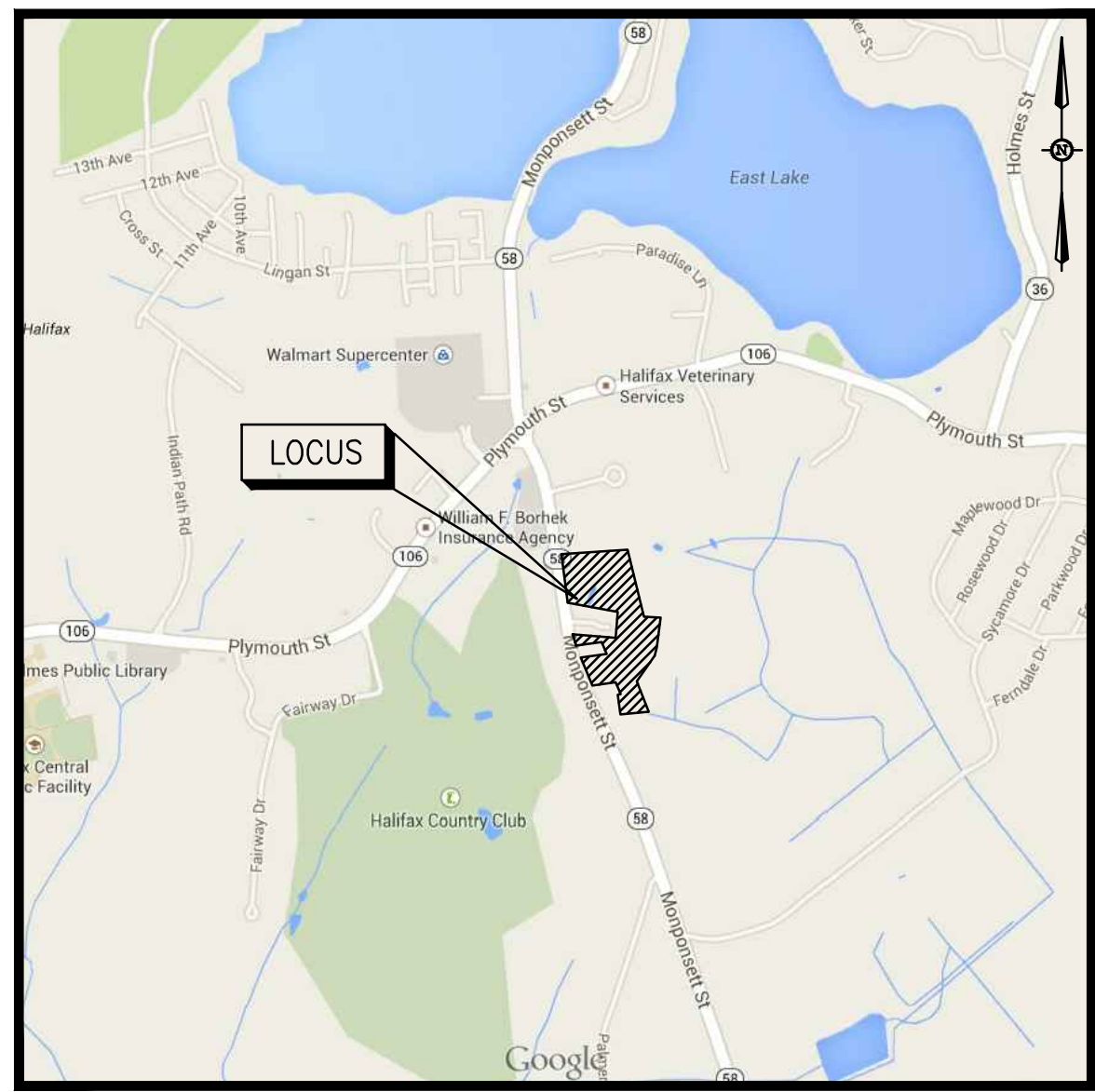
"Halifax Trails"

A Townhouse Development by:

Halifax Trails Co., Inc.



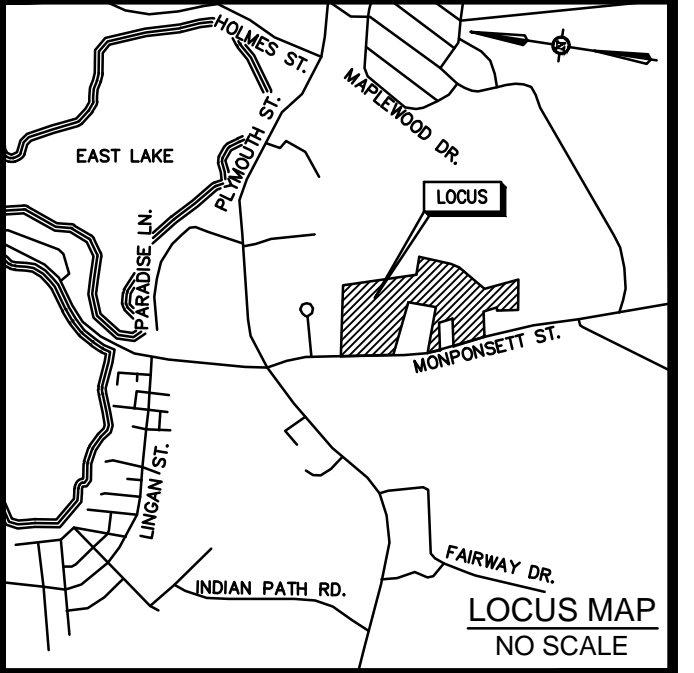
OVERALL PROJECT MAP & KEY PLAN
SCALE: 1"=200'



LOCUS MAP
NO SCALE

GENERAL NOTES

- ALL PROPOSED WALKWAYS WILL BE HANDICAPPED ACCESSIBLE. ALL PROPOSED SLOPES ON WALKWAYS TO BE LESS THAN 5%.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY EXISTING INFORMATION OR OTHER PROPOSED IMPROVEMENTS. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO JACOBS DRISCOLL ENGINEERING (JDE). CONTRACTOR WILL REFER TO (JDE) FOR ALL TECHNICAL COMMENTS FOR RESOLUTION OF THE CONFLICT.
- AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
- THE TERM "PROPOSED" (PROP.) MEANS WORK TO BE CONSTRUCTED USING NEW MATERIALS OR, WHERE APPLICABLE, RE-USING EXISTING MATERIALS IDENTIFIED AS "REMOVE AND RESET". (R&R)
- JOINTS BETWEEN NEW BITUMINOUS CONCRETE ROADWAY PAVEMENT AND SAWCUT EXISTING PAVEMENT SHALL BE SEALED WITH BITUMEN AND BACKSANDS.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE THE START OF ANY WORK. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO LOCATE THE UTILITIES EXACTLY. THE CONTRACTOR SHALL PRESERVE ALL UNDERGROUND UTILITIES. THE CONTRACTOR MUST CALL "DIG SAFE" (AT 1-888-DIG-SAFE) AND THE TOWN OF HALIFAX UTILITY DIVISION AT LEAST 72 HOURS TO MARK APPROPRIATE UTILITIES BEFORE THE START OF CONSTRUCTION.
- ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED IN KIND. LAWN AREAS SHALL HAVE A MODIFIED LOAM BORROW PLACED AND SEEDED. THE MODIFIED LOAM BORROW SHALL HAVE A MINIMUM DEPTH OF 4" AND SHALL BE PLACED FLUSH WITH THE TOP OF ADJACENT CURB, EDGING, BERM, OR OTHER SURFACE.
- THE CONTRACTOR SHALL WATER, MOW, AND FERTILIZE LAWN AREAS UNTIL SATISFACTORY GRASS IS ESTABLISHED, AND/OR THE OWNER OR ITS REPRESENTATIVE IS SATISFIED.
- THE CONTRACTOR SHALL PROTECT ALL UNDERGROUND DRAINAGE, SEWER, AND UTILITY FACILITIES FROM EXCESSIVE VEHICULAR LOADS DURING CONSTRUCTION. ANY FACILITIES DAMAGED BY CONSTRUCTION LOADS SHALL BE REPAIRED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE ALL NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN ALL NECESSARY PERMITS, PAY ALL FEES AND POST ALL BONDS ASSOCIATED WITH SAME, AND COORDINATE WITH THE ENGINEER AS REQUIRED.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY AND ALL CONSTRUCTION MEANS AND METHODS.
- PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR SHALL SUBMIT A SCHEDULE OF OPERATIONS TO THE OWNER AND ITS REPRESENTATIVE. THE CONTRACTOR SHALL NOTIFY AND COORDINATE WITH THE OWNER, ITS ENGINEER OR REPRESENTATIVE.
- FINAL LAYOUT AND STAKING OF ALL PROPOSED FEATURES AND GRADING SHALL BE REVIEWED IN THE FIELD AND APPROVED BY THE OWNERS REPRESENTATIVE PRIOR TO ANY SITE PREPARATION OR CONSTRUCTION. THE CONTRACTOR SHALL NOT ADJUST OR MODIFY THE LAYOUT AND STAKING OF ANY PROPOSED FEATURES UNTIL FINAL APPROVAL FROM THE OWNERS REPRESENTATIVE.
- THE CONTRACTOR SHALL REMOVE AND LEGALLY DISPOSE OF ALL STUMPS, RUBBISH, AND DEBRIS FROM THE PROJECT SITE. STORAGE OF THESE ITEMS WILL NOT BE PERMITTED ON THE PROJECT SITE. THE CONTRACTOR SHALL LEAVE THE SITE IN A SAFE, CLEAN, AND LEVEL CONDITION AT THE COMPLETION OF THE SITE CLEARANCE WORK.
- ALL ELECTRICAL, TELEPHONE, AND LOCAL FIRE DEPARTMENT CONDUITS ARE TO BE INSTALLED BY THE ELECTRICAL CONTRACTOR. TRENCHING, BACKFILLING AND CONCRETE AND STREET REPAIR SHALL BE PERFORMED BY THE GENERAL CONTRACTOR.
- PROPOSED MANHOLE RIMS & GRATES ARE TO BE SET FLUSH AND CONSISTENT WITH GRADING PLANS. ADJUST ALL OTHER RIM ELEVATIONS OF MANHOLES, GAS GATES, WATER GATES AND OTHER UTILITIES TO FINISHED GRADE WITHIN THE LIMITS OF THE SITE WORK. IF ANY CONFLICTS ARE DISCOVERED NOTIFY OWNERS REPRESENTATIVE.
- THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS WITH THE APPROPRIATE UTILITY COMPANIES FOR POLE RELOCATION, AND FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, FIRE ALARM, AND ANY OTHER PRIVATE UTILITIES, AS REQUIRED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A TOWN OF HALIFAX PUBLIC WORKS CONSTRUCTION LICENSE.
- A STABILIZED CONSTRUCTION EXIT TO BE PUT IN PLACE PRIOR TO THE START OF CONSTRUCTION.
- REMOVE SNOW FROM SITE AS NECESSARY AND DO NOT PLACE ON TOWN/STATE PROPERTY.
- THE MAINTENANCE OF THE DRAINAGE SYSTEM IS THE OWNERS RESPONSIBILITY.
- ANY HYDRANT, FIRE PROTECTION WATER SUPPLY LINE AND ASSOCIATED DEVICES ON SUBJECT PROPERTY SHALL BE MAINTAINED TO THE REQUIREMENTS OF NFPA25.
- THE SITE IS NOT LOCATED IN A DEP WELL HEAD PROTECTION DISTRICT.
- THE SITE IS NOT LOCATED IN A NHESP ESTIMATED OR PRIORITY HABITAT OF RARE SPECIES.



PERMITTING SET

REVISIONS		
No.	DATE	DESCRIPTION
1	7/10/2014	REFINE STORMWATER AND GRADING DESIGN, UPDATED WETLAND FLAGS, ADDITIONAL TOPO, MISC REVISIONS.
2	7/17/2014	BLDG LOT LINES, MISC. REVS.
3	8/21/2014	PER REVIEW COMMENTS

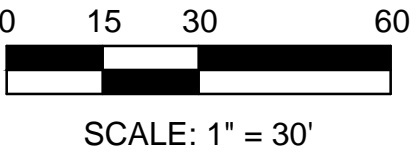
DRAWN BY: MPJ/GWD
 CHECKED BY: EPJ/GWD
 DESIGNED BY: EPJ/GWD
 JOB NUMBER: 2014-014

PREPARED FOR:
 HALIFAX TRAILS CO., INC.
 11 FOX RUN
 MARSHFIELD, MA 02050

COVER, GENERAL NOTES AND LEGEND PLAN

265 MONPONSETT ST.
 IN
 HALIFAX
 (PLYMOUTH COUNTY)
 MASSACHUSETTS

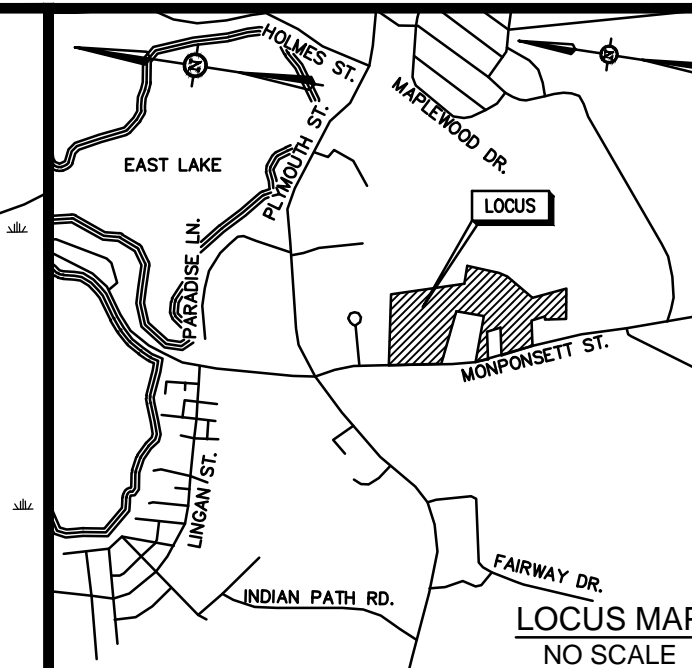
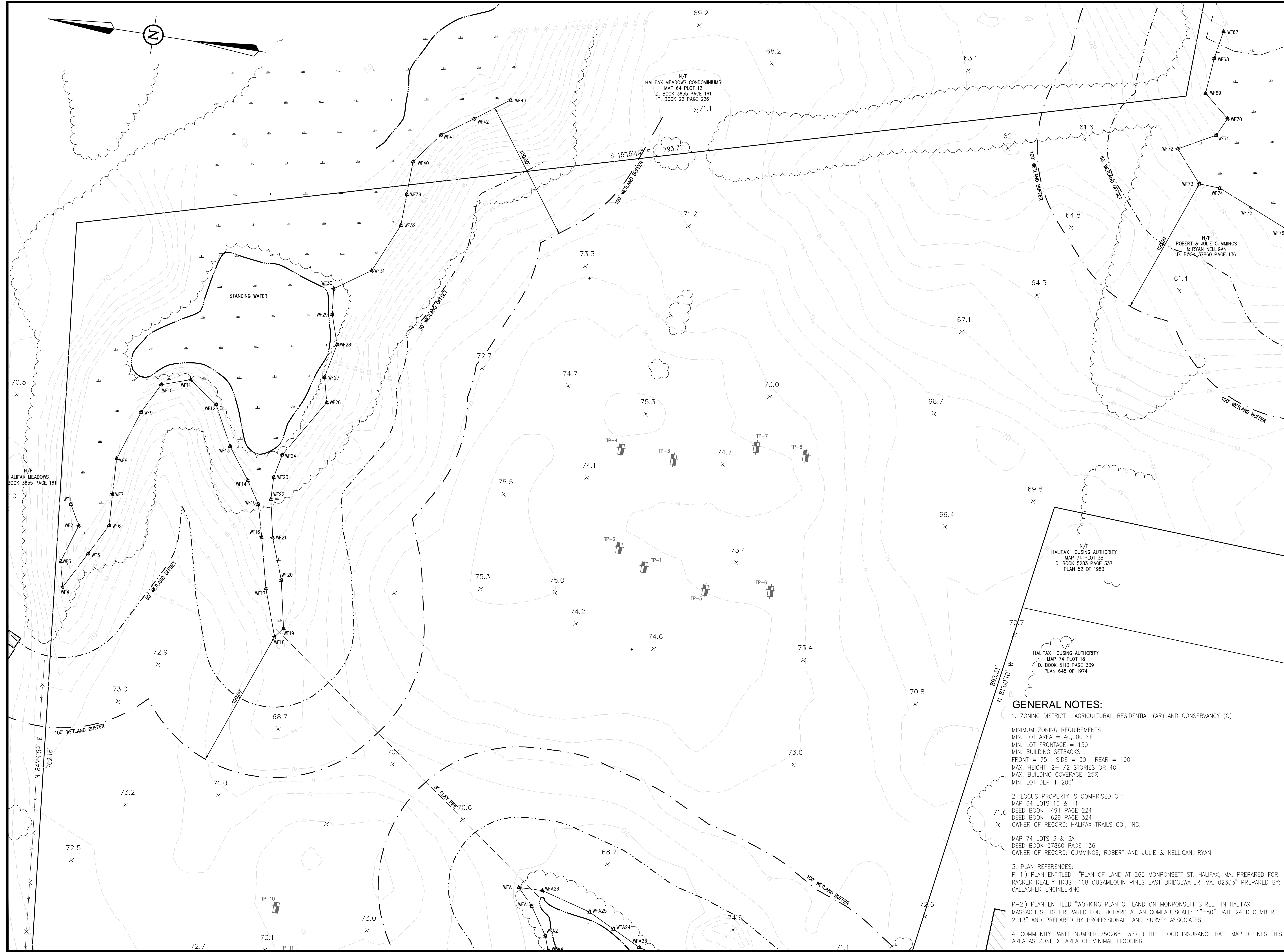
JUNE 5, 2014



SCALE: 1" = 30'



50 Oliver Street, Suite W3
 North Easton, Massachusetts 02356
 Phone: 508-928-4400
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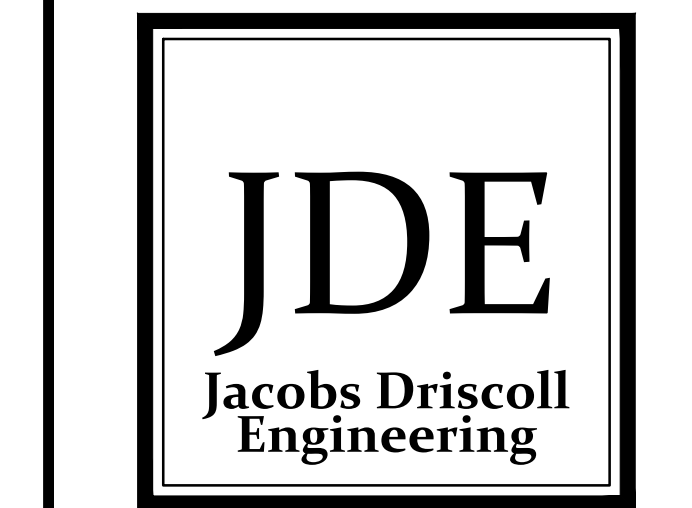
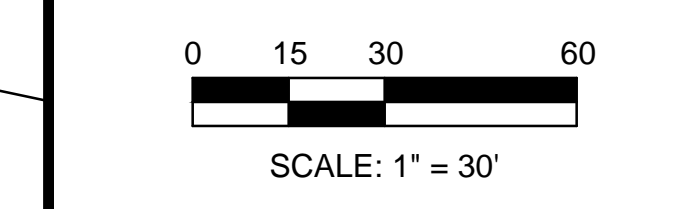
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EXISTING CONDITIONS PLAN I

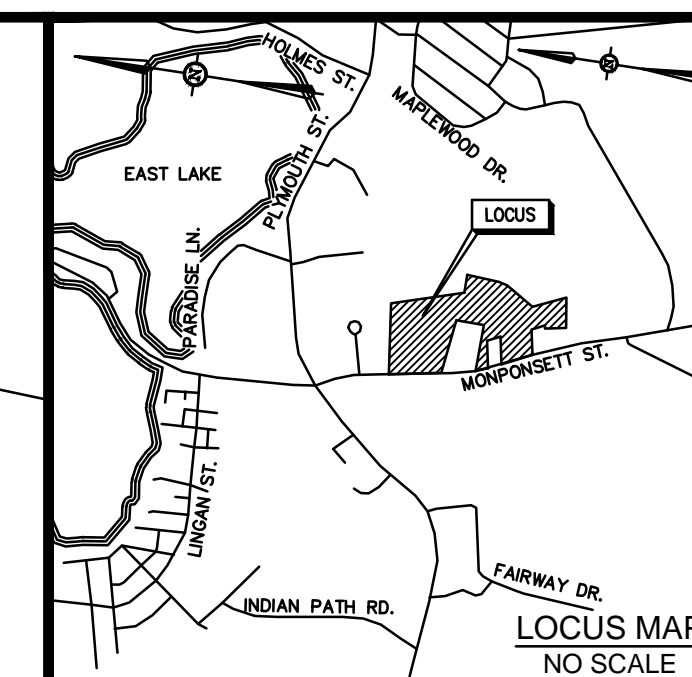
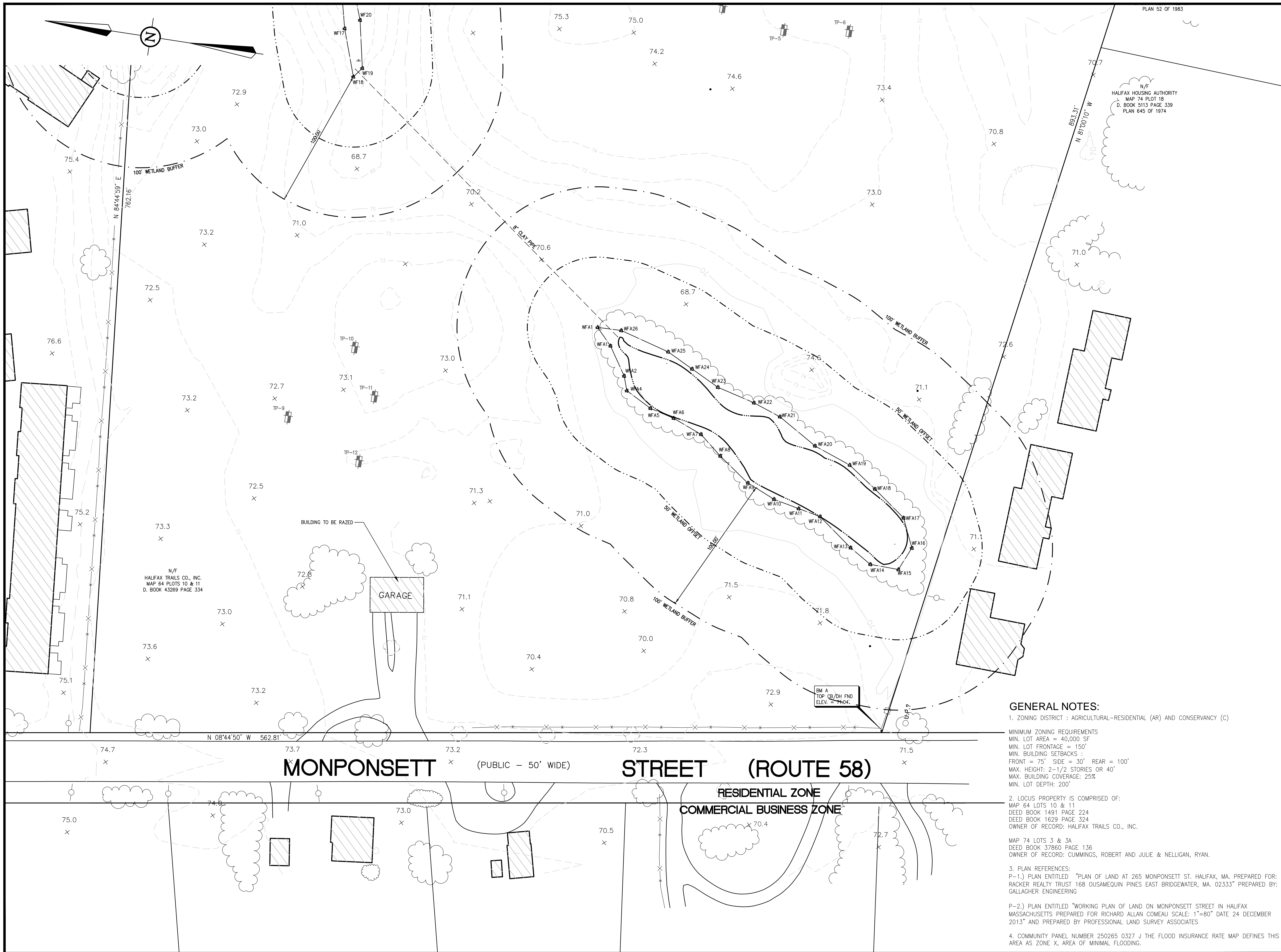
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 MASSACHUSETTS

JUNE 5, 2014



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- GENERAL NOTES:**
- ZONING DISTRICT : AGRICULTURAL-RESIDENTIAL (AR) AND CONSERVANCY (C)
 MINIMUM ZONING REQUIREMENTS
 MIN. LOT AREA = 40,000 SF
 MIN. LOT FRONTAGE = 150'
 MIN. BUILDING SETBACKS :
 FRONT = 75' SIDE = 30' REAR = 100'
 MAX. HEIGHT: 2-1/2 STORIES OR 40'
 MAX. BUILDING COVERAGE: 25%
 MIN. LOT DEPTH: 200'
 - LOCUS PROPERTY IS COMPRISED OF:
 MAP 64 LOTS 10 & 11
 DEED BOOK 1491 PAGE 224
 DEED BOOK 1629 PAGE 324
 OWNER OF RECORD: HALIFAX TRAILS CO., INC.
 MAP 74 LOTS 3 & 3A
 DEED BOOK 37860 PAGE 136
 OWNER OF RECORD: CUMMINGS, ROBERT AND JULIE & NELLIGAN, RYAN.
 - PLAN REFERENCES:
 P-1.) PLAN ENTITLED "PLAN OF LAND AT 265 MONPONSETT ST. HALIFAX, MA. PREPARED FOR: RACKER REALTY TRUST 168 OUSAMEQUIN PINES EAST BRIDGEWATER, MA. 02333" PREPARED BY: GALLAGHER ENGINEERING
 P-2.) PLAN ENTITLED "WORKING PLAN OF LAND ON MONPONSETT STREET IN HALIFAX MASSACHUSETTS PREPARED FOR RICHARD ALLAN COMEAU SCALE: 1"=80" DATE 24 DECEMBER 2013" AND PREPARED BY PROFESSIONAL LAND SURVEY ASSOCIATES
 - COMMUNITY PANEL NUMBER 250265 0327 J THE FLOOD INSURANCE RATE MAP DEFINES THIS AREA AS ZONE X, AREA OF MINIMAL FLOODING.



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 11 FOX RUN
 MARSHFIELD, MA 02050

EXISTING CONDITIONS
 PLAN II
 265 MONPONSETT ST.
 IN
 HALIFAX
 (PLYMOUTH COUNTY)
 MASSACHUSETTS
 JUNE 5, 2014



JDE

Jacobs Driscoll
Engineering

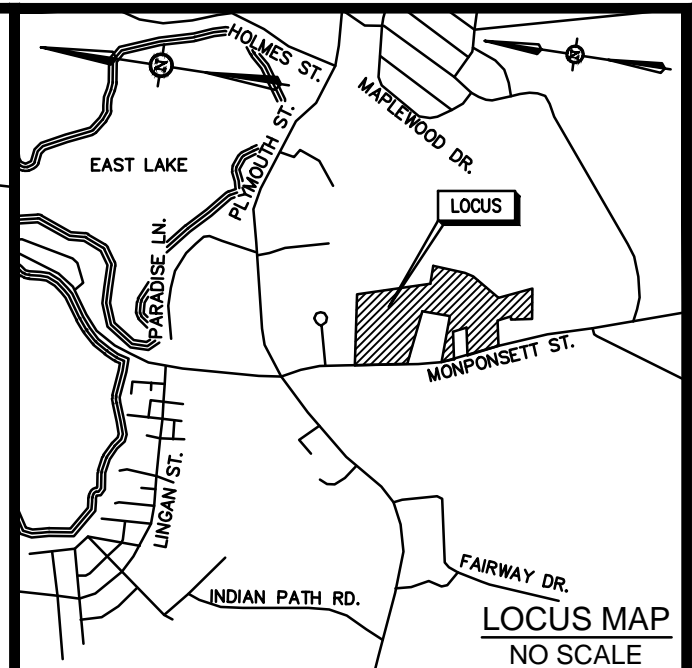
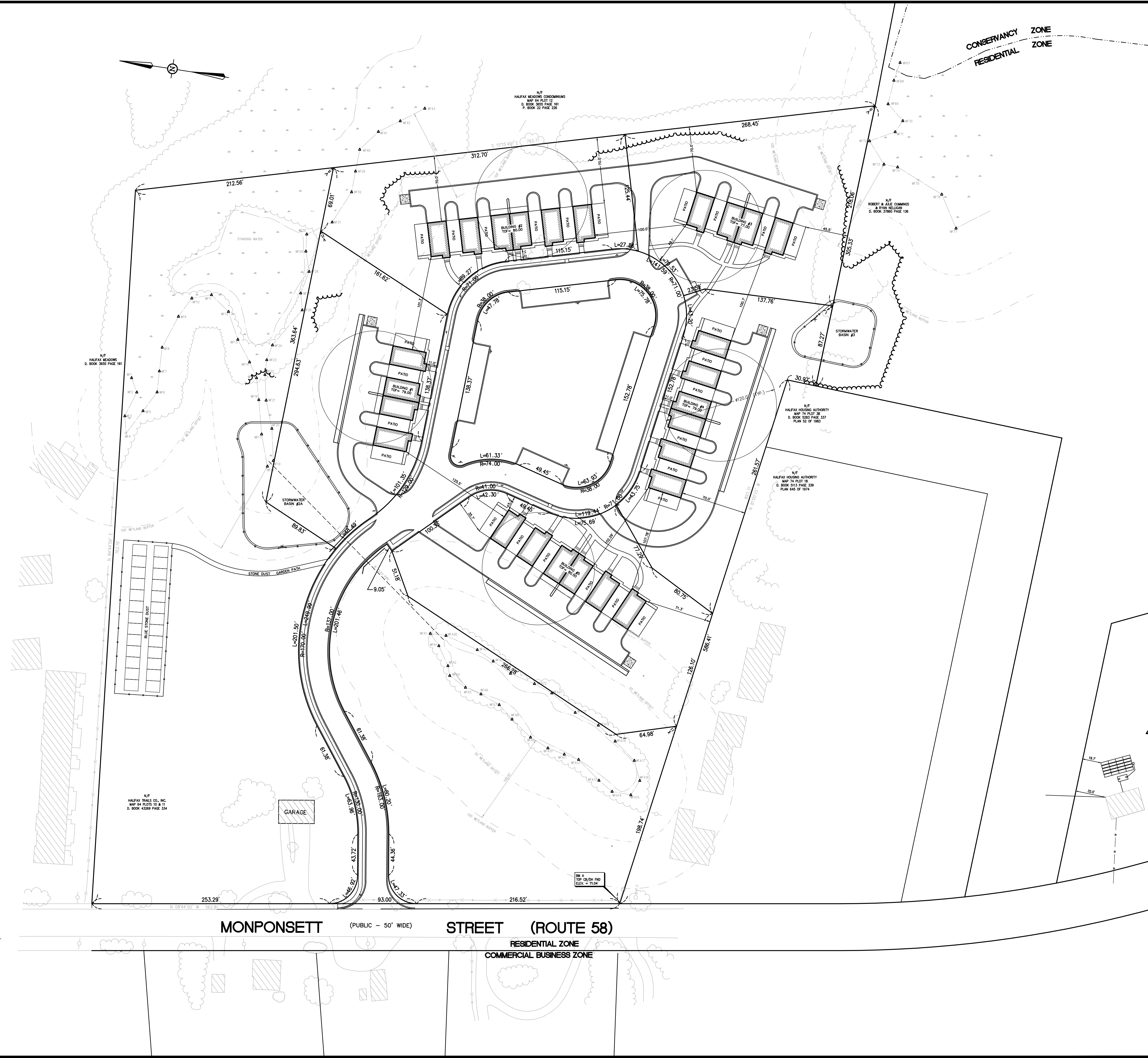
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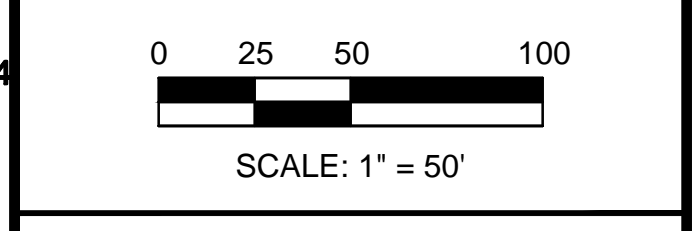
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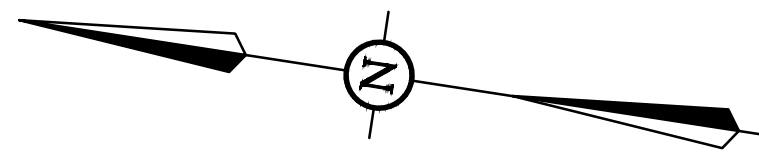
OVERALL LAYOUT AND MATERIALS PLAN AND LOTTING PLAN
 265 MONPONSETT ST.
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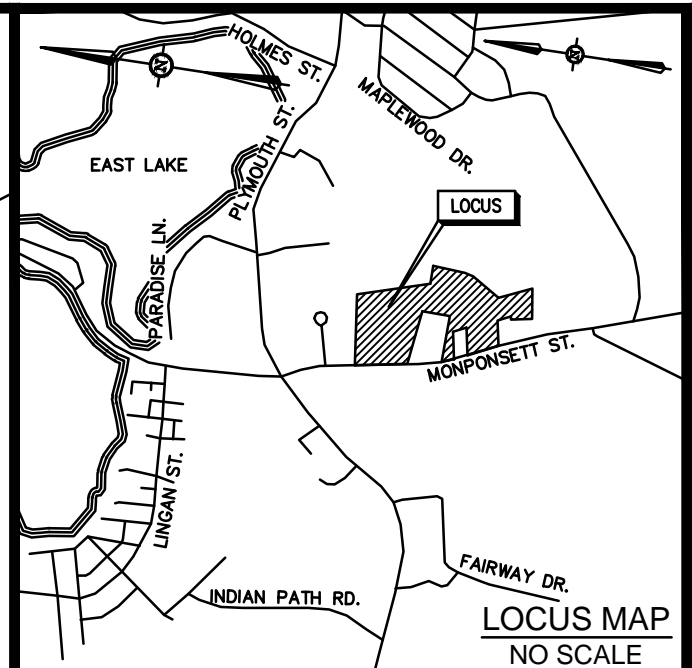
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N/F
HALIFAX MEADOWS CONDOMINIUMS
MAP 64 PLOT 12
D. BOOK 3655 PAGE 161
P. BOOK 22 PAGE 226



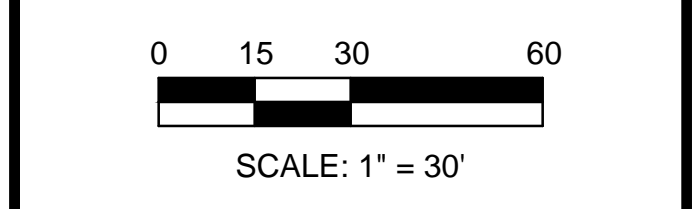
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LAYOUT AND MATERIALS PLAN I
265 MONPONSETT ST.
IN
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MASSACHUSETTS
JUNE 5, 2014



SIGN SUMMARY

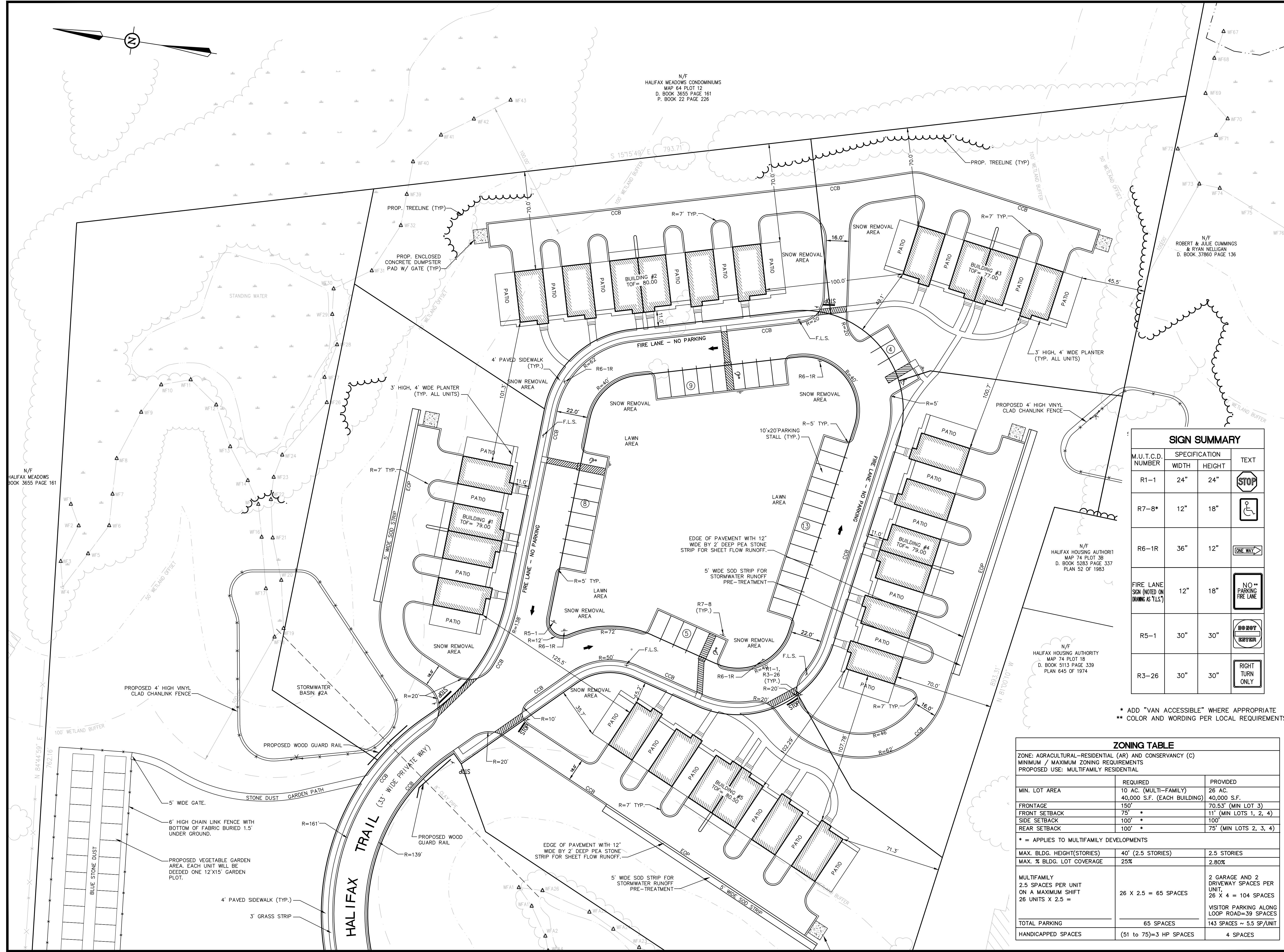
M.U.T.C.D. NUMBER	SPECIFICATION WIDTH	SPECIFICATION HEIGHT	TEXT
R1-1	24"	24"	STOP
R7-8*	12"	18"	Handicap Accessible
R6-1R	36"	12"	ONE WAY
FIRE LANE SIGN (NOTED ON DRAWING AS T1S)	12"	18"	NO PARKING FIRE LANE
R5-1	30"	30"	NO BOAT LAUNCHING
R3-26	30"	30"	RIGHT TURN ONLY

* ADD "VAN ACCESSIBLE" WHERE APPROPRIATE
** COLOR AND WORDING PER LOCAL REQUIREMENTS

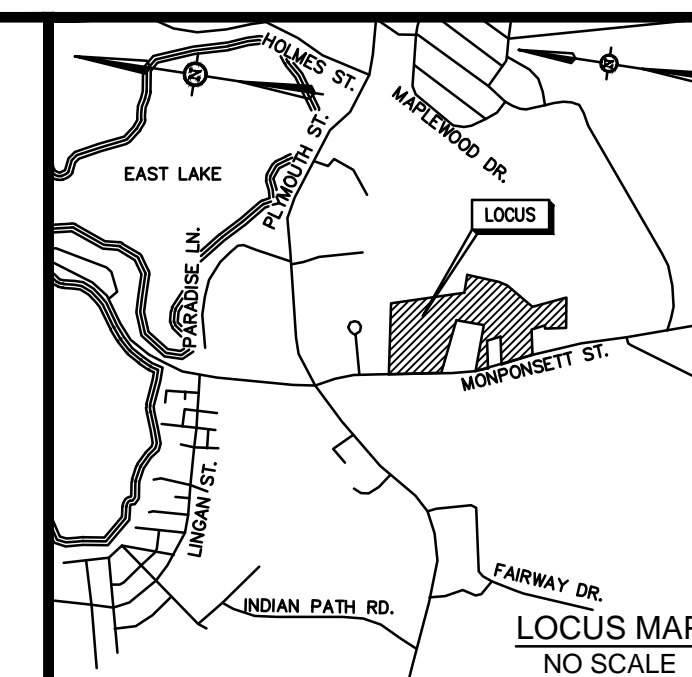
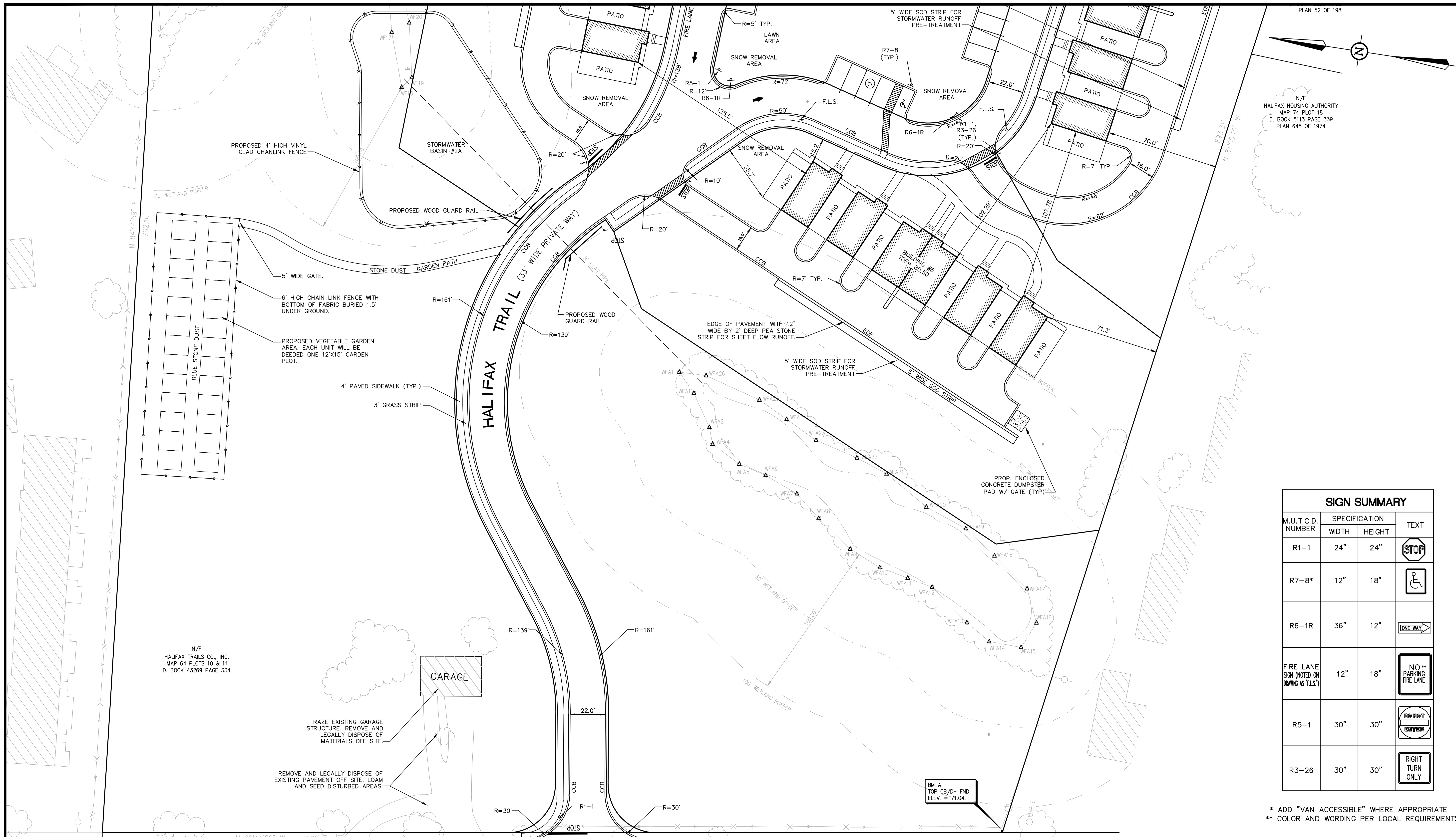
ZONING TABLE

ZONE: AGRACULTURAL-RESIDENTIAL (AR) AND CONSERVANCY (C)
MINIMUM / MAXIMUM ZONING REQUIREMENTS
PROPOSED USE: MULTIFAMILY RESIDENTIAL

	REQUIRED	PROVIDED
MIN. LOT AREA	10 AC. (MULTI-FAMILY) 40,000 S.F. (EACH BUILDING)	26 AC. 40,000 S.F.
FRONTAGE	150'	70.53' (MIN LOT 3)
FRONT SETBACK	75'	11' (MIN LOTS 1, 2, 4)
SIDE SETBACK	100'	100'
REAR SETBACK	100'	75' (MIN LOTS 2, 3, 4)
* = APPLIES TO MULTIFAMILY DEVELOPMENTS		
MAX. BLDG. HEIGHT (STORIES)	40' (2.5 STORIES)	2.5 STORIES
MAX. % BLDG. LOT COVERAGE	25%	2.80%
MULTIFAMILY 2.5 SPACES PER UNIT ON A MAXIMUM SHIFT 26 UNITS X 2.5 =	26 X 2.5 = 65 SPACES	2 GARAGE AND 2 DRIVEWAY SPACES PER UNIT, 26 X 4 = 104 SPACES VISITOR PARKING ALONG LOOP ROAD=39 SPACES
TOTAL PARKING	65 SPACES	143 SPACES ~ 5.5 SP/UNIT
HANDICAPPED SPACES	(51 to 75)=3 HP SPACES	4 SPACES



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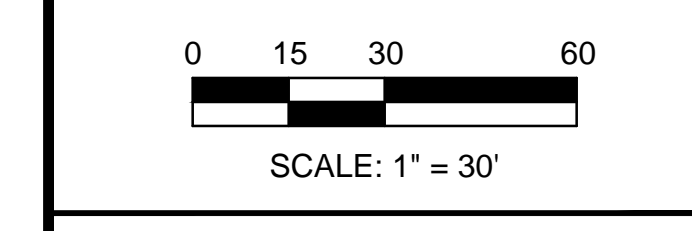
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LAYOUT AND MATERIALS PLAN II
 265 MONPONSETT ST.
 IN HALIFAX
 (PLYMOUTH COUNTY)
 MASSACHUSETTS
 JUNE 5, 2014



SIGN SUMMARY

M.U.T.C.D. NUMBER	SPECIFICATION		TEXT
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R6-1R	36"	12"	
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R5-1	30"	30"	
R3-26	30"	30"	

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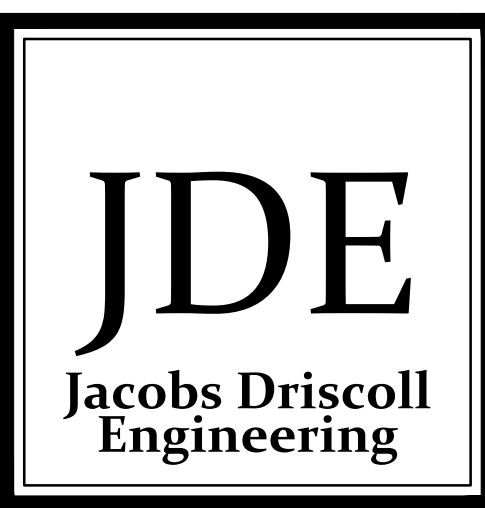
MONPONSETT STREET (ROUTE 58) (PUBLIC - 50' WIDE)

RESIDENTIAL ZONE
 COMMERCIAL BUSINESS ZONE

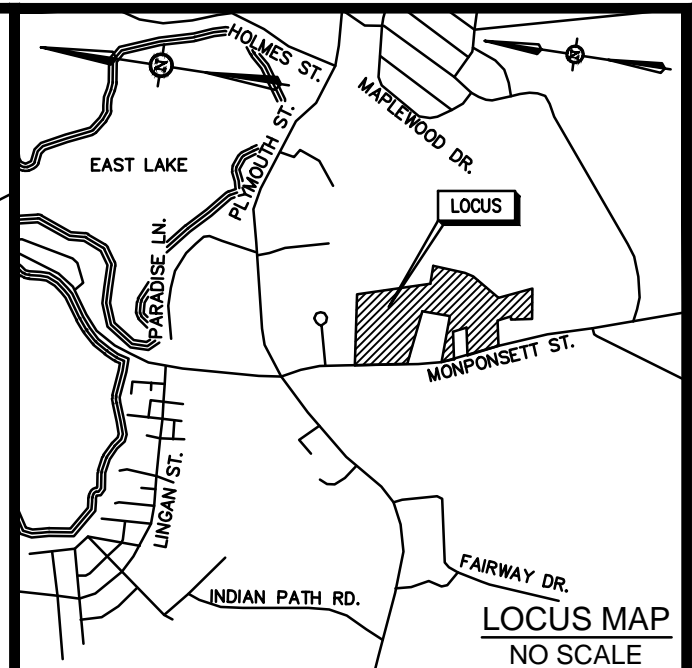
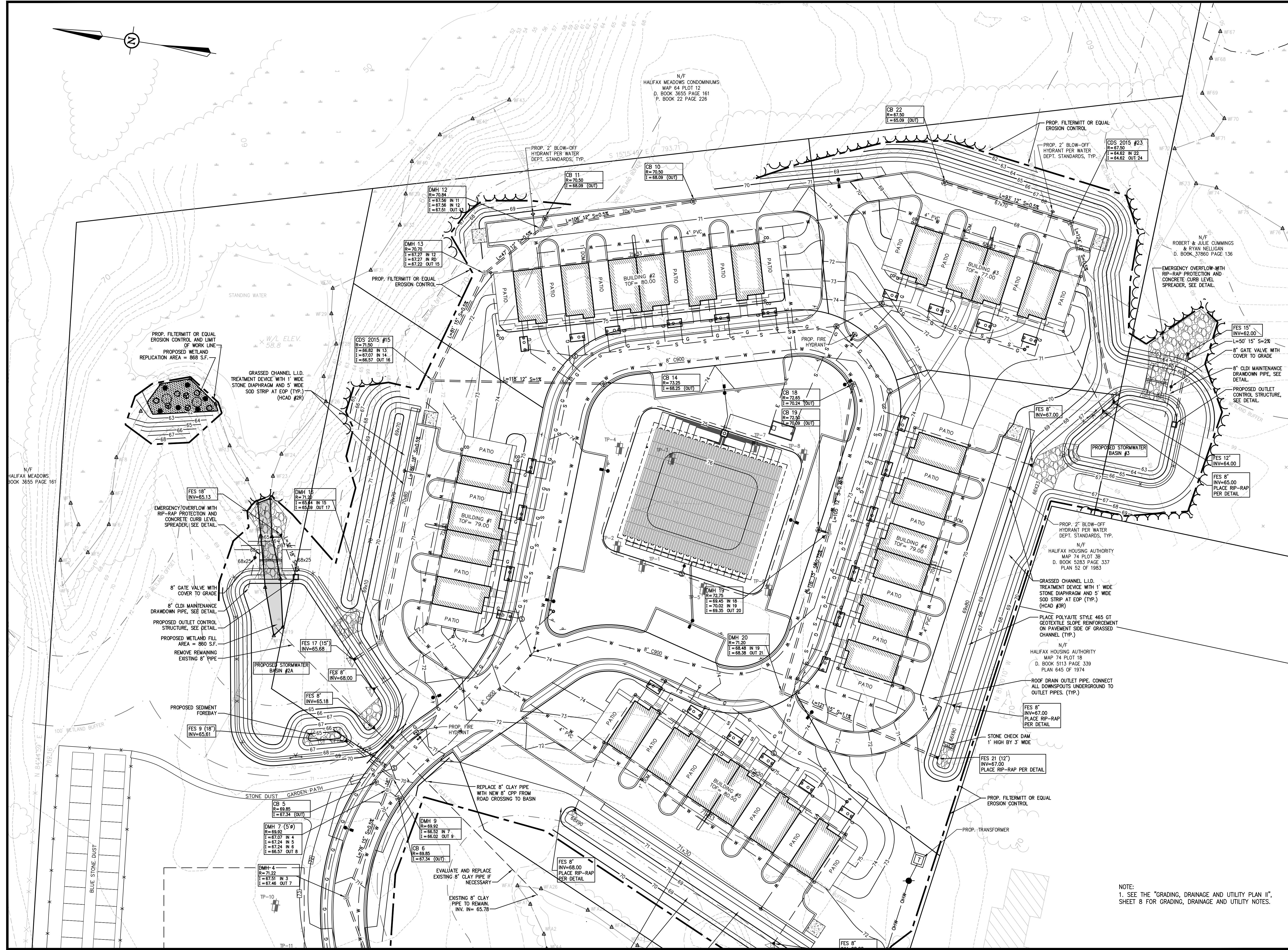
N/F
 HALIFAX TRAILS CO., INC.
 MAP 64 PLOTS 10 & 11
 D. BOOK 43269 PAGE 334

RAZE EXISTING GARAGE STRUCTURE. REMOVE AND LEGALLY DISPOSE OF MATERIALS OFF SITE.
 REMOVE AND LEGALLY DISPOSE OF EXISTING PAVEMENT OFF SITE. LOAM AND SEED DISTURBED AREAS.

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2	7/17/2014	BLDG LOT LINES, MISC. REVS
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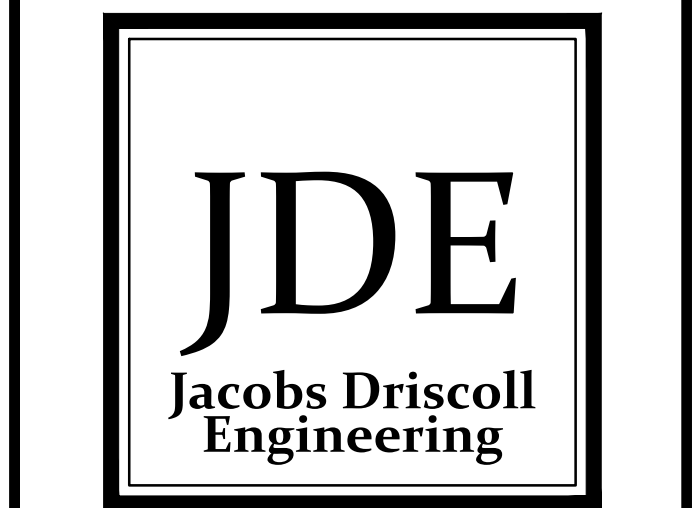
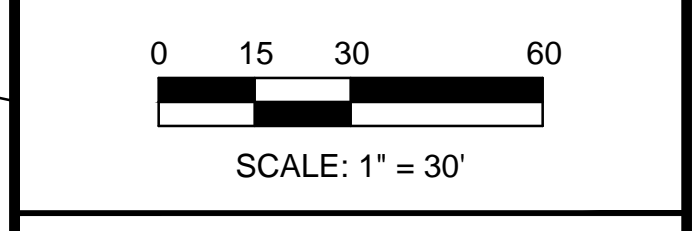
DRAWN BY: MPJ/GWD
 CHECKED BY: EPJ/GWD
 DESIGNED BY: EPJ/GWD
 JOB NUMBER: 2014-014

PREPARED FOR:
 HALIFAX TRAILS CO., INC.
 11 FOX RUN
 MARSHFIELD, MA 02050

GRADING, DRAINAGE AND UTILITY PLAN I

265 MONPONSETT ST.
 IN
 HALIFAX
 (PLYMOUTH COUNTY)
 MASSACHUSETTS

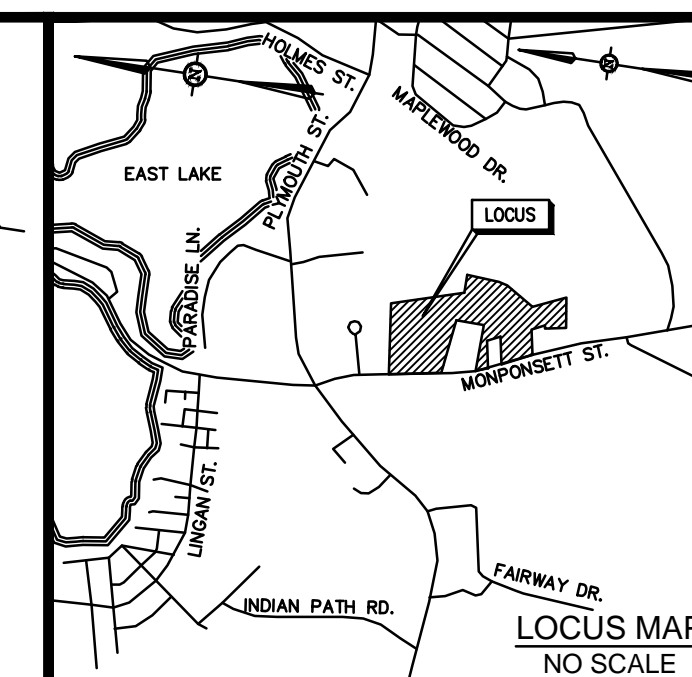
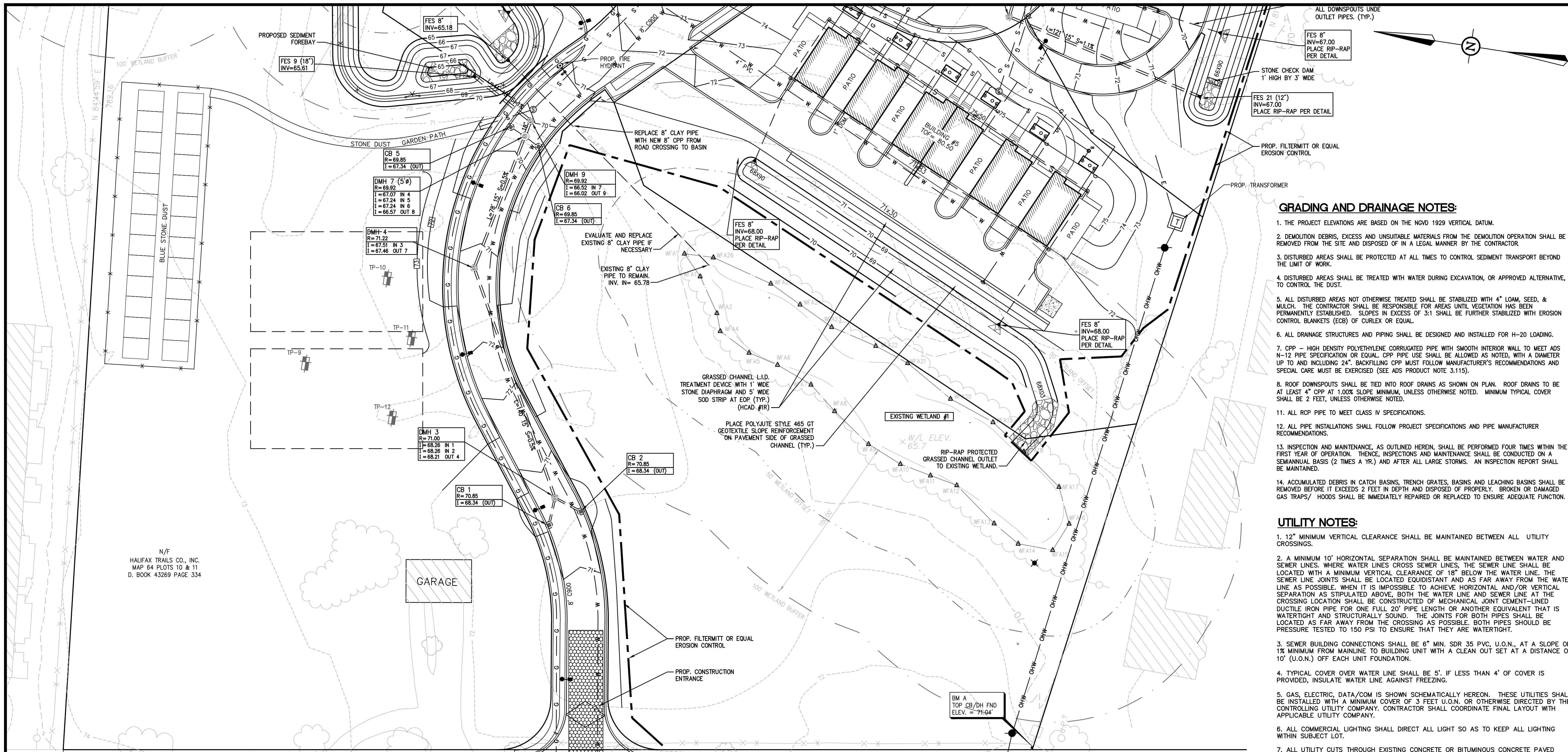
JUNE 5, 2014



50 Oliver Street, Suite W3
 North Easton, Massachusetts 02356
 Phone: 508-928-4400
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NOTE:
 1. SEE THE "GRADING, DRAINAGE AND UTILITY PLAN II", SHEET 8 FOR GRADING, DRAINAGE AND UTILITY NOTES.

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PERMITTING SET

REVISIONS		
No.	DATE	DESCRIPTION
1	7/10/2014	REFINE STORMWATER AND GRADING DESIGN, UPDATED WETLAND FLAGS, ADDITIONAL TOPO, MISC REVISIONS
2	7/17/2014	BLDG LOT LINES, MISC. REVS
3	8/21/2014	PER REVIEW COMMENTS

DRAWN BY: MPJ/GWD
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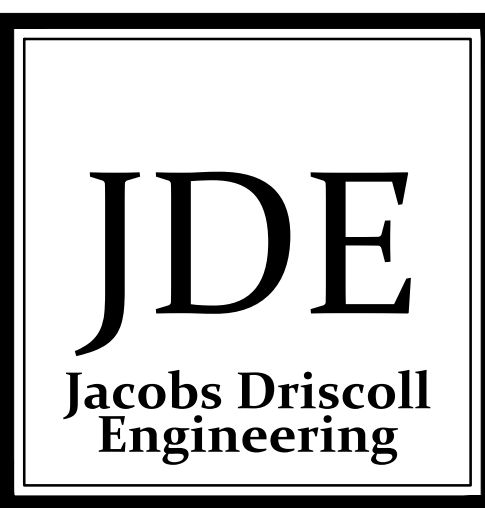
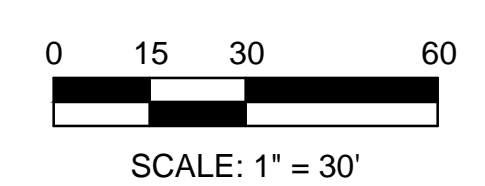
PREPARED FOR:

HALIFAX TRAILS CO., INC.
 11 FOX RUN
 MARSHFIELD, MA 02050

GRADING, DRAINAGE AND UTILITY PLAN II

265 MONPONSETT ST.
 IN
 HALIFAX
 (PLYMOUTH COUNTY)
 MASSACHUSETTS

JUNE 5, 2014



50 Oliver Street, Suite W3
 North Easton, Massachusetts 02356
 Phone: 508-928-4400
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GRADING AND DRAINAGE NOTES:

1. THE PROJECT ELEVATIONS ARE BASED ON THE NVD 1929 VERTICAL DATUM.
2. DEMOLITION DEBRIS, EXCESS AND UNSUITABLE MATERIALS FROM THE DEMOLITION OPERATION SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER BY THE CONTRACTOR.
3. DISTURBED AREAS SHALL BE PROTECTED AT ALL TIMES TO CONTROL SEDIMENT TRANSPORT BEYOND THE LIMIT OF WORK.
4. DISTURBED AREAS SHALL BE TREATED WITH WATER DURING EXCAVATION, OR APPROVED ALTERNATIVE, TO CONTROL THE DUST.
5. ALL DISTURBED AREAS NOT OTHERWISE TREATED SHALL BE STABILIZED WITH 4" LOAM, SEED, & MULCH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AREAS UNTIL VEGETATION HAS BEEN PERMANENTLY ESTABLISHED. SLOPES IN EXCESS OF 3:1 SHALL BE FURTHER STABILIZED WITH EROSION CONTROL BLANKETS (ECB) OF CURLEX OR EQUAL.
6. ALL DRAINAGE STRUCTURES AND PIPING SHALL BE DESIGNED AND INSTALLED FOR H-20 LOADING.
7. CPP - HIGH DENSITY POLYETHYLENE CORRUGATED PIPE WITH SMOOTH INTERIOR WALL TO MEET ADS N-12 PIPE SPECIFICATION OR EQUAL. CPP PIPE USE SHALL BE ALLOWED AS NOTED, WITH A DIAMETER UP TO AND INCLUDING 24". BACKFILLING CPP MUST FOLLOW MANUFACTURER'S RECOMMENDATIONS AND SPECIAL CARE MUST BE EXERCISED (SEE ADS PRODUCT NOTE 3.115).
8. ROOF DOWNSPOUTS SHALL BE TIED INTO ROOF DRAINS AS SHOWN ON PLAN. ROOF DRAINS TO BE AT LEAST 4" CPP AT SLOPE MINIMUM UNLESS OTHERWISE NOTED. MINIMUM TYPICAL COVER SHALL BE 2 FEET, UNLESS OTHERWISE NOTED.
11. ALL RCP PIPE TO MEET CLASS IV SPECIFICATIONS.
12. ALL PIPE INSTALLATIONS SHALL FOLLOW PROJECT SPECIFICATIONS AND PIPE MANUFACTURER RECOMMENDATIONS.
13. INSPECTION AND MAINTENANCE, AS OUTLINED HEREIN, SHALL BE PERFORMED FOUR TIMES WITHIN THE FIRST YEAR OF OPERATION. THENCE, INSPECTIONS AND MAINTENANCE SHALL BE CONDUCTED ON A SEMIANNUAL BASIS (2 TIMES A YR.) AND AFTER ALL LARGE STORMS. AN INSPECTION REPORT SHALL BE MAINTAINED.
14. ACCUMULATED DEBRIS IN CATCH BASINS, TRENCH GRATES, BASINS AND LEACHING BASINS SHALL BE REMOVED BEFORE IT EXCEEDS 2 FEET IN DEPTH AND DISPOSED OF PROPERLY. BROKEN OR DAMAGED GAS TRAPS/ HOODS SHALL BE IMMEDIATELY REPAIRED OR REPLACED TO ENSURE ADEQUATE FUNCTION.

UTILITY NOTES:

1. 12" MINIMUM VERTICAL CLEARANCE SHALL BE MAINTAINED BETWEEN ALL UTILITY CROSSINGS.
2. A MINIMUM 10' HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN WATER AND SEWER LINES. WHERE WATER LINES CROSS SEWER LINES THE SEWER LINE SHALL BE LOCATED WITH A MINIMUM VERTICAL CLEARANCE OF 18" BELOW THE WATER LINE. THE SEWER LINE JOINTS SHALL BE LOCATED EQUIDISTANT AND AS FAR AWAY FROM THE WATER LINE AS POSSIBLE. WHEN IT IS IMPOSSIBLE TO ACHIEVE HORIZONTAL AND/OR VERTICAL SEPARATION AS STIPULATED ABOVE, BOTH THE WATER LINE AND SEWER LINE AT THE CROSSING LOCATION SHALL BE CONSTRUCTED OF MECHANICAL JOINT CEMENT-LINED DUCTILE IRON PIPE FOR ONE FULL 20' PIPE LENGTH OR ANOTHER EQUIVALENT THAT IS WATERTIGHT AND STRUCTURALLY SOUND. THE JOINTS FOR BOTH PIPES SHALL BE LOCATED AS FAR AWAY FROM THE CROSSING AS POSSIBLE. BOTH PIPES SHOULD BE PRESSURE TESTED TO 150 PSI TO ENSURE THAT THEY ARE WATERTIGHT.
3. SEWER BUILDING CONNECTIONS SHALL BE 6" MIN. SDR 35 PVC, U.O.N., AT A SLOPE OF 1% MINIMUM FROM MAINLINE TO BUILDING UNIT WITH A CLEAN OUT SET AT A DISTANCE OF 10' (U.O.N.) OFF EACH UNIT FOUNDATION.
4. TYPICAL COVER OVER WATER LINE SHALL BE 5', IF LESS THAN 4' OF COVER IS PROVIDED, INSULATE WATER LINE AGAINST FREEZING.
5. GAS, ELECTRIC, DATA/COM IS SHOWN SCHEMATICALLY HEREON. THESE UTILITIES SHALL BE INSTALLED WITH A MINIMUM COVER OF 3 FEET U.O.N. OR OTHERWISE DIRECTED BY THE CONTROLLING UTILITY COMPANY. CONTRACTOR SHALL COORDINATE FINAL LAYOUT WITH APPLICABLE UTILITY COMPANY.
6. ALL COMMERCIAL LIGHTING SHALL DIRECT ALL LIGHT SO AS TO KEEP ALL LIGHTING WITHIN SUBJECT LOT.
7. ALL UTILITY CUTS THROUGH EXISTING CONCRETE OR BITUMINOUS CONCRETE PAVED SURFACES SHALL BE SAW CUT. BACK FILLING OF TRENCH SHALL INCLUDE 12" IN DEPTH FLOWABLE FILL TO BE THE BASE COURSE OF THE SURFACE TREATMENT. THE SURFACE TREATMENT SHALL THEN BE REPLACED IN KIND. IF THE BITUMINOUS CONCRETE SURFACE IS WITHIN THE ROADWAY THE BITUMINOUS CONCRETE TOP COURSE SHALL BE FINISHED WITH INFRARED TREATMENT TO BLEND EXISTING & NEWLY PAVED SURFACES.

OPERATION/MAINTENANCE PLAN

THIS OPERATION AND MAINTENANCE PLAN SHALL BE PERFORMED BY THE GENERAL CONTRACTOR DURING CONSTRUCTION OPERATIONS AND BY THE OWNER ONCE THE FACILITIES ARE COMPLETED AND PUT INTO OPERATION.

PERSONNEL ASSOCIATED WITH THE CONSTRUCTION OF THIS PROJECT SHALL BE INFORMED THAT THE MAINTENANCE OF SILTATION CONTROLS TAKES PRECEDENCE OVER NORMAL CONSTRUCTION ACTIVITIES. ADJACENT PROPERTIES AND STREETS SHALL BE PROTECTED FROM EROSION OR SILTATION CONDITIONS.

INSPECTION AND MAINTENANCE, AS OUTLINED HEREIN, SHALL BE PERFORMED FOUR TIMES WITHIN THE FIRST YEAR OF OPERATION. THENCE, INSPECTIONS AND MAINTENANCE SHALL BE CONDUCTED ON A SEMIANNUAL BASIS (2 TIMES A YR.) AND AFTER ALL LARGE STORMS. AN INSPECTION REPORT SHALL BE MAINTAINED.

ACCUMULATED DEBRIS IN CATCH BASINS, WATER QUALITY INLETS, OIL/WATER SEPARATORS AND LEACHING BASINS SHALL BE REMOVED BEFORE IT EXCEEDS 2 FEET IN DEPTH AND DISPOSED OF PROPERLY. BROKEN OR DAMAGED GAS TRAPS/ HOODS SHALL BE IMMEDIATELY REPAIRED OR REPLACED TO ENSURE ADEQUATE FUNCTION.

A VISUAL INSPECTION SHALL BE MADE AT ALL ACCESS MANHOLES, CATCH BASINS, WATER QUALITY INLETS, OIL/WATER SEPARATORS, LEACHING BASINS, PIPES AND DRAINAGE CHANNELS FOR THE ENTIRE STORM DRAINAGE SYSTEM. THE GENERAL CONDITION OF THESE STRUCTURES SHOULD BE REVIEWED AND ACCUMULATED DEBRIS SHALL BE REMOVED. THE CONDITION OF ALL OUTLETS SHALL BE NOTED AND A DESCRIPTION OF THE DRAINAGE STRUCTURES SHALL BE INCLUDED IN THE REPORT. DELETERIOUS MATERIALS SHALL BE REMOVED FROM THESE STRUCTURES AND THE DRAINAGE CHANNELS IN ORDER FOR THE SYSTEM TO FUNCTION PROPERLY.

ALL OUTLETS, DRAINING CHANNELS, AND SLOPES SHALL BE KEPT STABILIZED. ANY EROSION SHALL BE REPAIRED IMMEDIATELY.

ACCUMULATED SEDIMENT SHALL BE REMOVED FROM THE SWM BASIN BEFORE IT EXCEEDS 1' IN DEPTH, OR AT LEAST ONCE EVERY 5 YEARS. THE LOW FLOW OUTLET SHALL BE CLEANED AND INSPECTED FOR PROPER FUNCTIONING. ALL DEBRIS OR DELETERIOUS MATERIAL SHALL BE REMOVED FROM OUTLET STRUCTURE AND OUT FALL PLUNGE POOL. BASIN SLOPES SHALL BE MAINTAINED WITH A GRASS STAND OF AT LEAST 3". GRASS SHALL BE MOVED AT LEAST TWICE A YEAR AND CLIPPING SHALL NOT BE LEFT IN BASIN. ANY TREES OR OTHER WOODY VEGETATION GROWING IN EMBANKMENTS OR NEAR CONTROL STRUCTURE SHALL BE REMOVED.

THE FOLLOWING MINIMUM INFORMATION SHALL BE RECORDED:
 • DATE OF INSPECTION
 • GENERAL CONDITION OF THE ENTIRE SYSTEM
 • CORRECTIVE MAINTENANCE ACTIONS TAKEN TO ENSURE ADEQUATE FUNCTION AND WHEN PERFORMED.
 • A COPY OF THESE INSPECTION REPORTS SHALL BE FURNISHED TO THE APPROPRIATE AGENCY UPON REQUEST.

CONSTRUCTION SEQUENCE

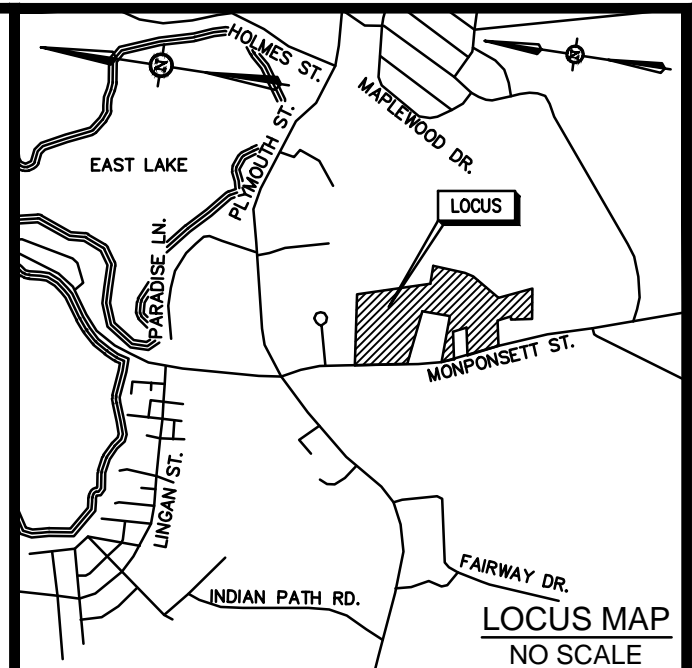
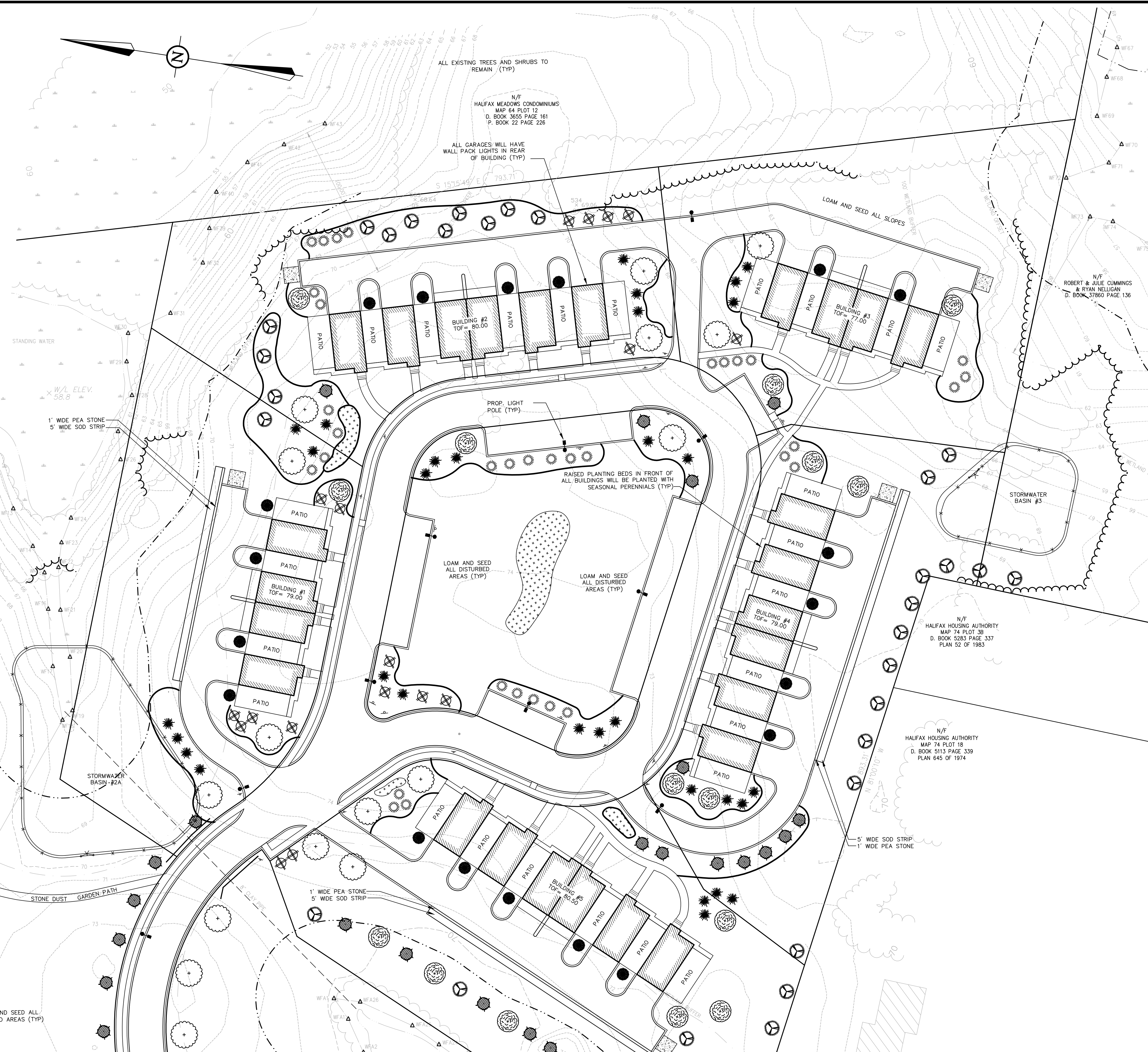
1. INSTALL HAY BALE SILT FENCING TO ESTABLISH THE LIMIT OF WORK AS SHOWN ON PLAN.
2. CONSTRUCT TEMPORARY CONSTRUCTION ENTRANCE AREA AS SHOWN ON DETAIL #610.
3. DISCHARGES FROM DEWATERING OF EXCAVATIONS SHALL NOT BE DIVERTED DIRECTLY INTO ANY WETLANDS OR EXISTING STORM DRAINS WITHOUT PRETREATMENT VIA SETTLING BASINS.
4. INSTALL HAY BALE CHECK DAMS ALONG CENTER OF SWALES AT 100' O.C., AS NECESSARY.
5. CLEAR AND GRUB SITE WITHIN THE LIMIT OF WORK.
6. CONSTRUCT SWM BASIN TO BE USED AS SEDIMENT TRAP. INSTALL LOW FLOW PERFORATED PIPE WITH FILTER FABRIC AND STONE. DO NOT INSTALL LOW FLOW ORIFICE CAP UNTIL SITE IS FULLY STABILIZED.
7. ESTABLISH ROUGH SUB GRADES FOR PARKING LOT AND BUILDING PLATFORM.
8. PERFORM BUILDING AND SITE CONSTRUCTION
9. INSPECT AND MAINTAIN EROSION CONTROL MEASURES AFTER RAINFALL EVENTS AND A MINIMUM OF ONCE PER WEEK.
10. REMOVE SEDIMENT BUILDUP AT EROSION CONTROL DEVICES AS NEEDED. REDISTRIBUTE MATERIAL OVER SITE IN CONFORMANCE WITH EARTHWORK SPECIFICATIONS.
11. AS DRAINAGE STRUCTURES ARE INSTALLED, INSTALL FILTER FABRIC AND HAY BALES AROUND NEW STRUCTURES IN ACCORDANCE WITH DETAIL #607 AND MAINTAIN THEM UNTIL PAVEMENT IS IN PLACE AND VEGETATION IS ESTABLISHED. ALL OUTFALLS SHALL BE IMMEDIATELY STABILIZED WITH STONE PROTECTION AS REQUIRED.
12. ALL CUT AND FILL SLOPES SHALL BE TEMPORARILY STABILIZED WITH TOP SOIL, SEED AND MULCH OR CURLEX AS REQUIRED IF CONSTRUCTION ACTIVITY CEASES ON SAND SLOPES FOR A PERIOD OF SEVEN DAYS OR GREATER. ALL SLOPES SHALL BE PERMANENTLY STABILIZED AS REQUIRED IMMEDIATELY UPON COMPLETION OF FINAL GRADING.
13. COMPLETE FINISH GRADING AND STABILIZATION OF SITE. PLACE FINAL PAVING COURSE.
14. REMOVE SEDIMENT FROM ALL DRAINAGE STRUCTURES, DRAIN MANHOLES, PIPES AFTER COMPLETION OF CONSTRUCTION. REMOVE AND REGRADE TEMPORARY BERMS, SWALES, CHECK DAMS, ETC. STABILIZE DISTURBED AREAS.
15. CLEAN OUT ALL SEDIMENT FROM SWM BASIN AND OUTLET STRUCTURES. REGRADE TO CONTOURS PER DESIGN. STABILIZE ALL SLOPES AS REQUIRED. REPLACE FILTER FABRIC AND 1" CLEAN STONE AROUND LOW FLOW OUTLET PIPE. INSTALL LOW FLOW ORIFICE CAP PER DETAIL.
16. REMOVE HAY BALES & SILT FENCE UPON ESTABLISHMENT OF PERMANENT GROUND COVER. STABILIZE ALL AREAS WHERE HAY BALES WERE REMOVED.

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Plant Legend

KEY	DESCRIPTION	QTY.	SIZE
TREES	BRADFORD PEAR PYRUS CALLERYANA	22	8-10', 2" CAL.
	EASTERN REDBUD CERCIS CANADENSIS	15	6-8' TALL
	JAPANESE CEDAR CRYPTOMERIA JAPONICA	32	5-6' TALL
SHRUBS AND GROUND COVER	AMERICAN ARBORVITAE THUJA OCCIDENTALIS	19	5-6', 2" CAL.
	DWARF PURPLE SAND CHERRY PRUNUS X CISTENA	34	20-36 INCHES
	FLAME AZALEA R. CALENDULACEUM	31	36 INCHES
	REDTIG DOGWOOD CORNUS ALBA 'SIBIRICA'	31	20-36 INCHES
	RHODODENDRON PJM. COMPACT	21	20-36 INCHES
	DATILY HEMEROCALLIS	FULL COV.	1 EVERY 12" SQ.

NOTE:
 LANDSCAPE CONTRACTOR TO VERIFY UTILITY LOCATIONS BEFORE INSTALLING PLANTINGS.
 PLANT SOIL SHALL BE 1/3 SPHAGNUM PEAT MOSS AND 2/3 FERTILE FIELD LOAM BY VOLUME.
 MULCH SHALL BE HORTICULTURAL QUALITY FINE BARK.
 TREE PLANTINGS SHALL BE COMMON VARIETIES CAPABLE OF REACHING A HEIGHT OF 30' @ MATURITY.
 SHRUB PLANTINGS SHALL BE COMMON VARIETIES CAPABLE OF A MINIMUM HEIGHT OF 6' @ MATURITY.
 UPPER STORY PLANTINGS: 2 1/2 INCH CALIFER
 LOWER STORY PLANTINGS: SHRUBS 30-46 INCHES
 PLANTS SHALL CONFORM TO MOST RECENT STANDARDS OF THE AMERICAN NURSERYMENS ASSOCIATION.
 PROVIDE 4" TOPSOIL 4 FINE GRADE 4 SEED ALL AREAS NOT OTHERWISE NOTED.
 ALL PLANTINGS AT DRIVE WAY ENTRANCES WILL BE MAINTAINED TO A HEIGHT OF 3' OR LESS AS TO NOT OBSCURE TRAFFIC VISIBILITY.
 IRRIGATION NOTES (WELL REQUIRED)
 CONTRACTOR TO BE RESPONSIBLE FOR PROPER COVERAGE OF AREAS TO BE WATERED I.E. ADJUST HEADS WITH INSUFFICIENT COVERAGE DUE TO BLOCKAGE BY EXISTING OR PROPOSED SITE FEATURES.
 CONTRACTOR TO REFER TO LANDSCAPE PLAN TO KEEP SPRINKLER EQUIPMENT AND ACCESSORY MATERIAL FROM INTERFERING WITH PROPER PLANTING, I.E. VERIFY ROOT BALL SIZE FOR PLANTING.
 RAINFALL CONTROL VALVES, COUPLINGS, SPRINKLER HEADS SERIES 102 AND 1004 SHALL BE USED, USE 1000 SUPER 100 LAWN ROTOR WHERE REQUIRED.
 MAINLINE AND LATERAL LINE PIPE SHALL BE CLASS 200 PVC IRRIGATION BLEEVE SHALL BE SCHEDULE 40 PVC
 INCLUDE BACKFLOW PREVENTER ASSEMBLY AND SPRINKLER CHECK VALVE DEVICES WHERE LOW HEAD DRAINAGE MAY OCCUR.



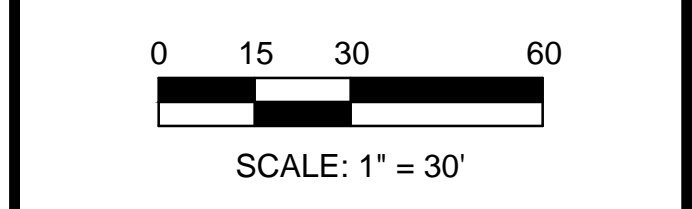
PERMITTING SET

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LANDSCAPING PLAN I
 265 MONPONSETT ST.
 IN
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 MASSACHUSETTS
 JUNE 5, 2014

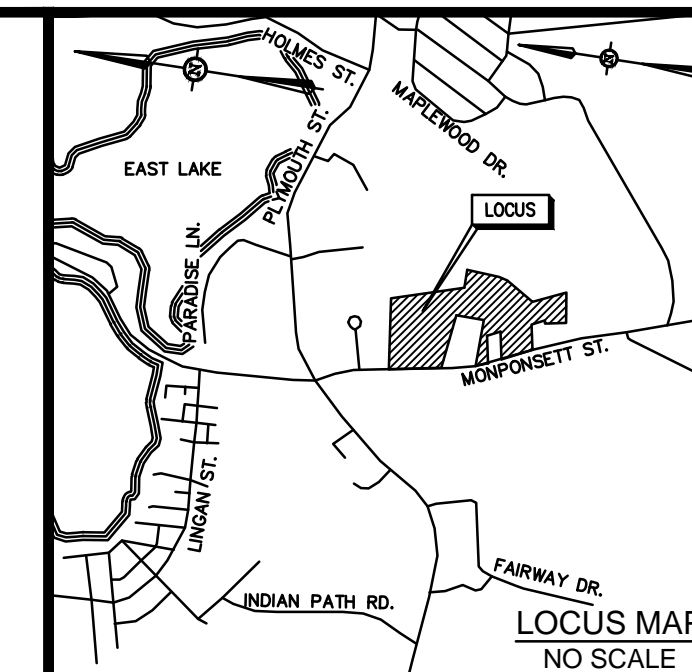
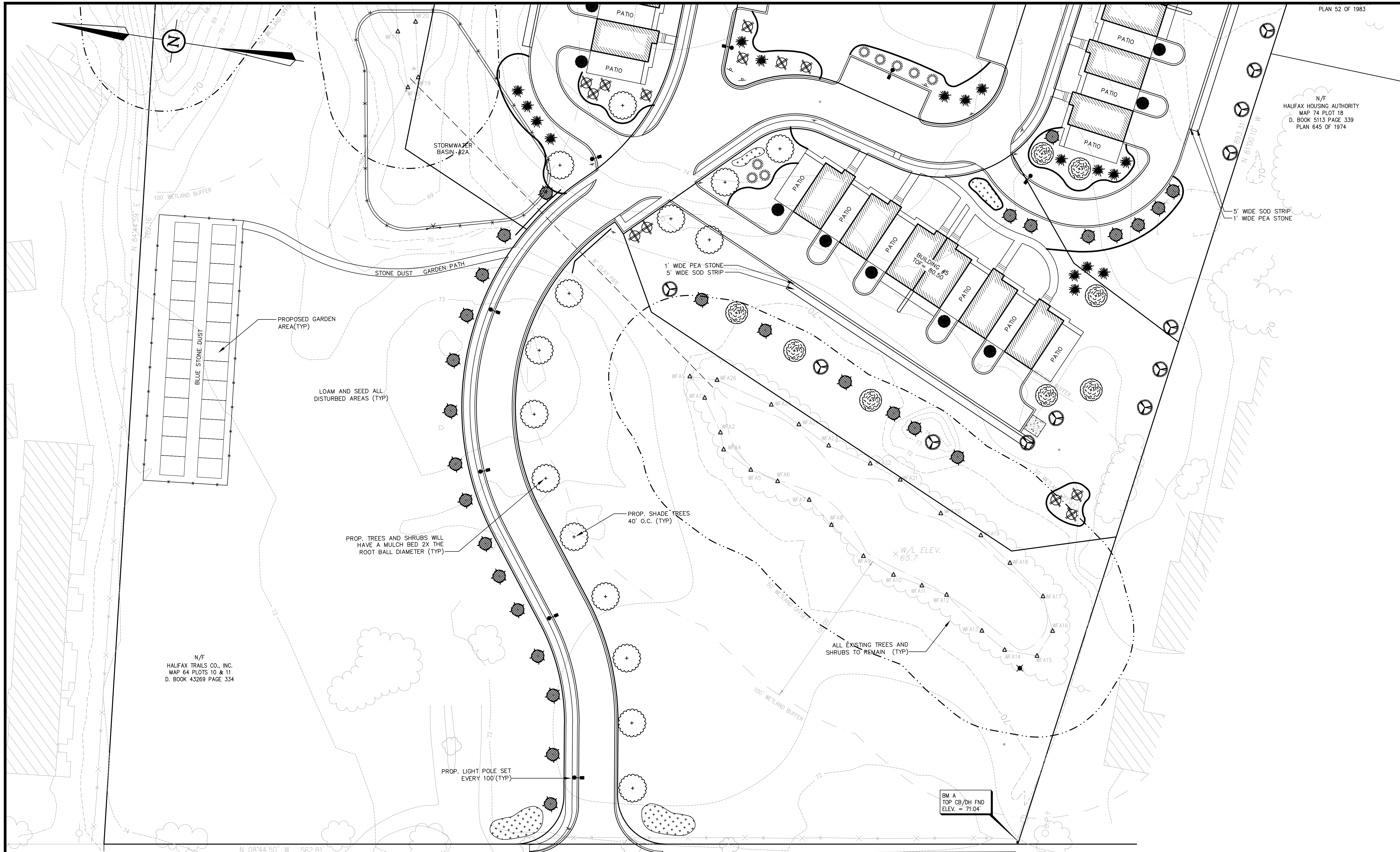


JDE

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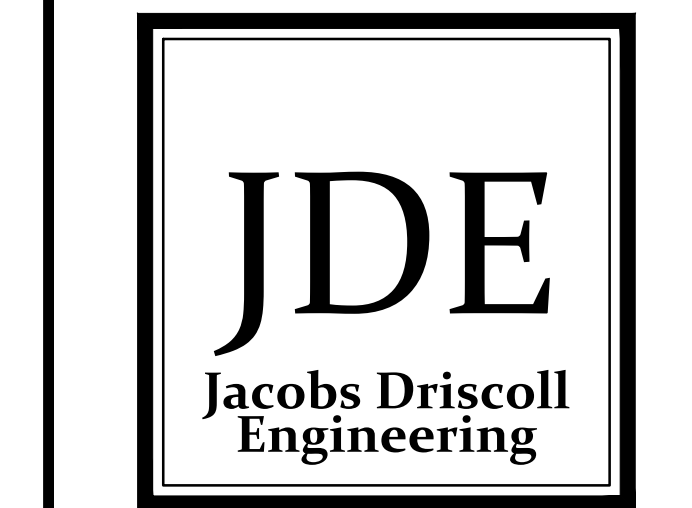
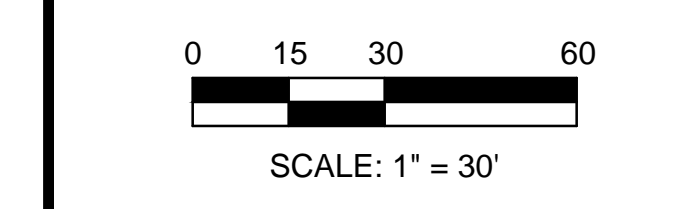
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PREPARED FOR:
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LANDSCAPING PLAN II

265 MONPONSETT ST.
 IN
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 MASSACHUSETTS

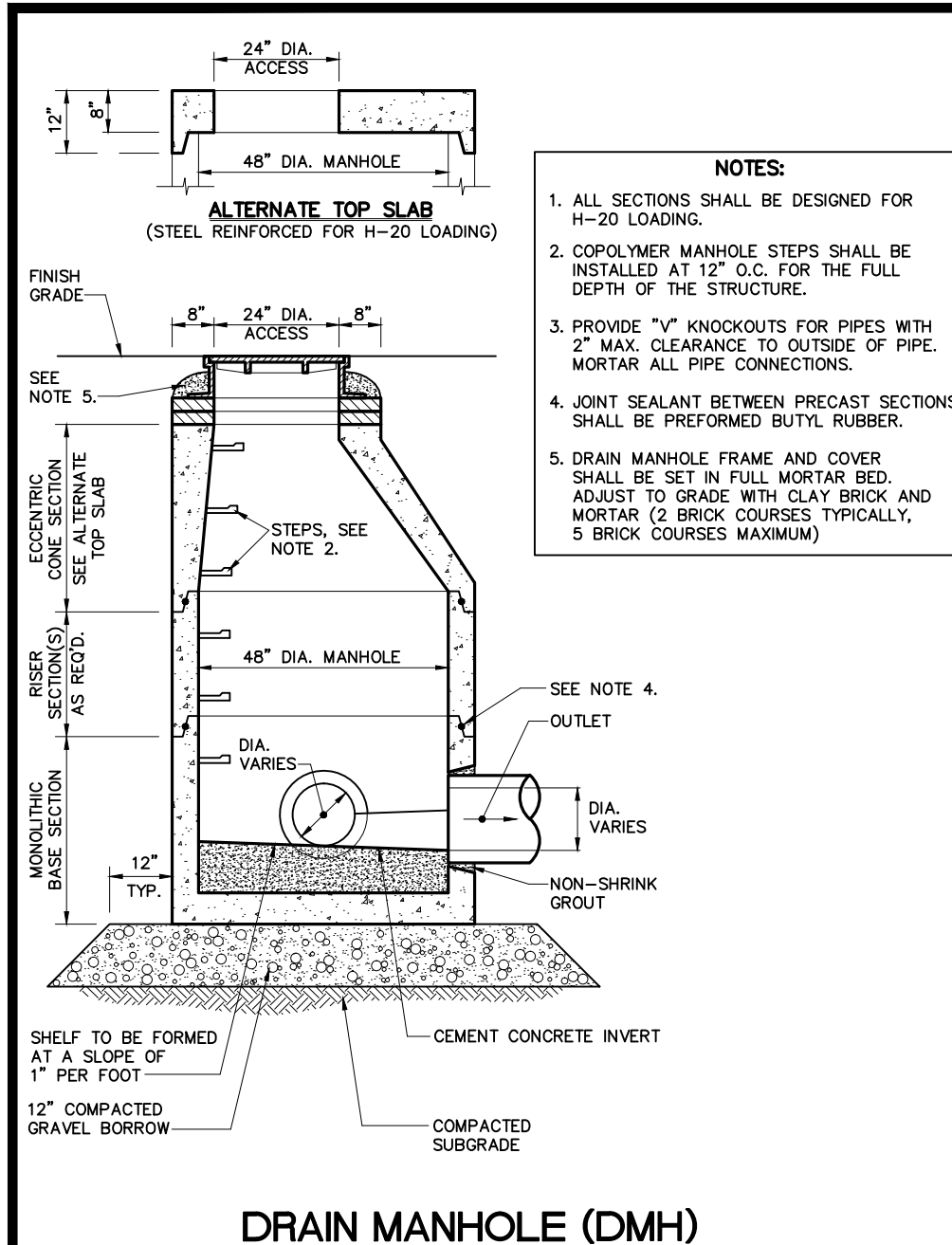
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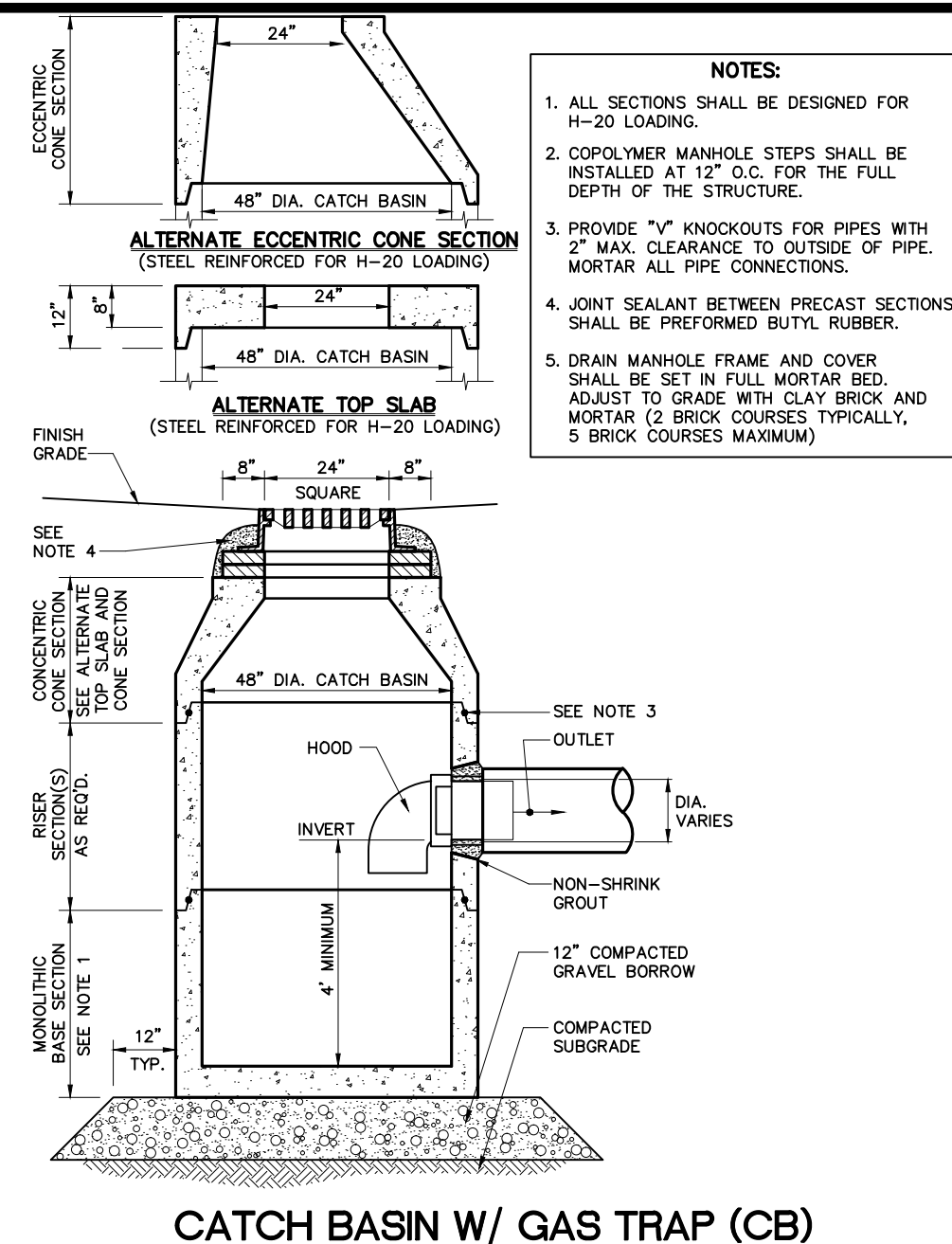
50 Oliver Street, Suite W3
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MONPONSETT STREET (ROUTE 58)
 (PUBLIC - 50' WIDE)
 RESIDENTIAL ZONE
 COMMERCIAL BUSINESS ZONE

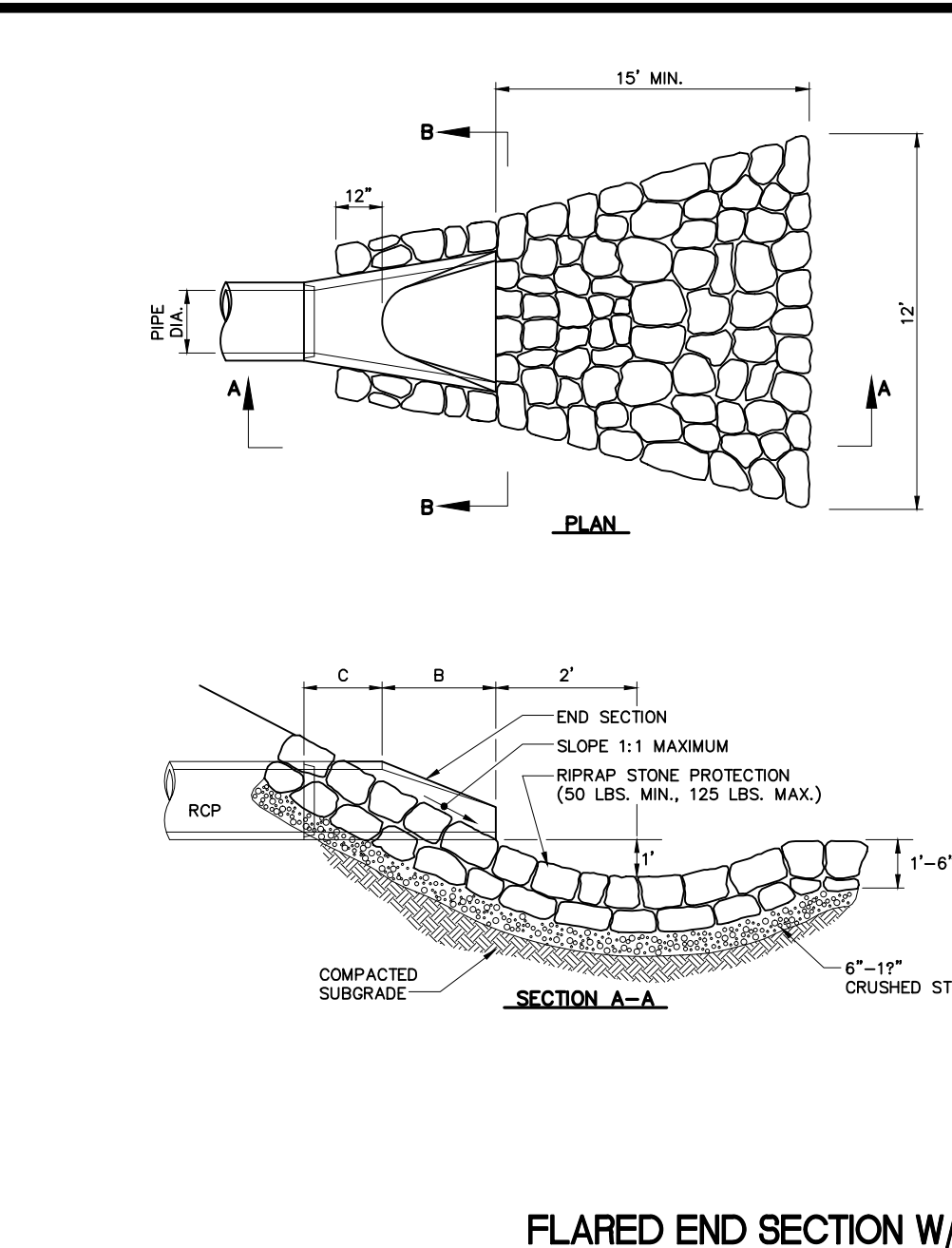
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DETAIL # 101



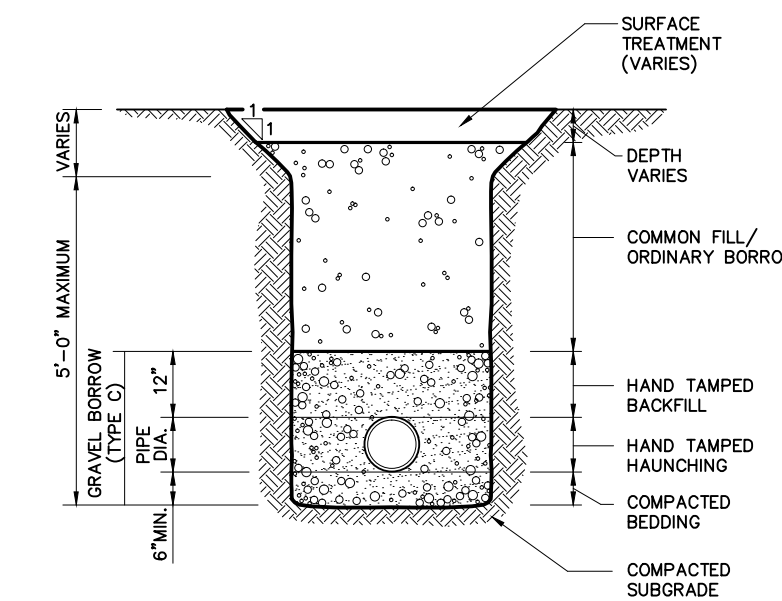
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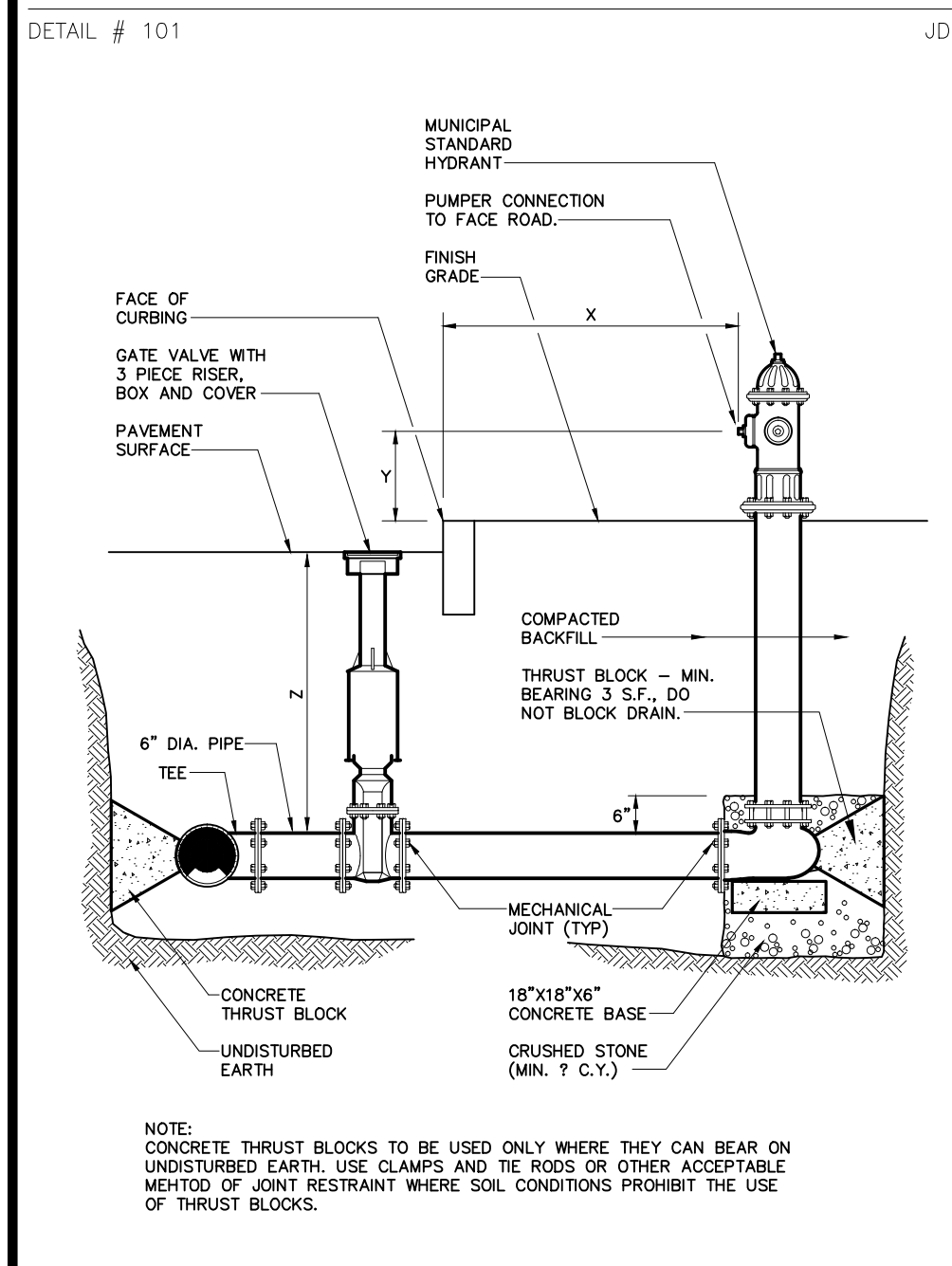
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DIMENSIONAL TABLE

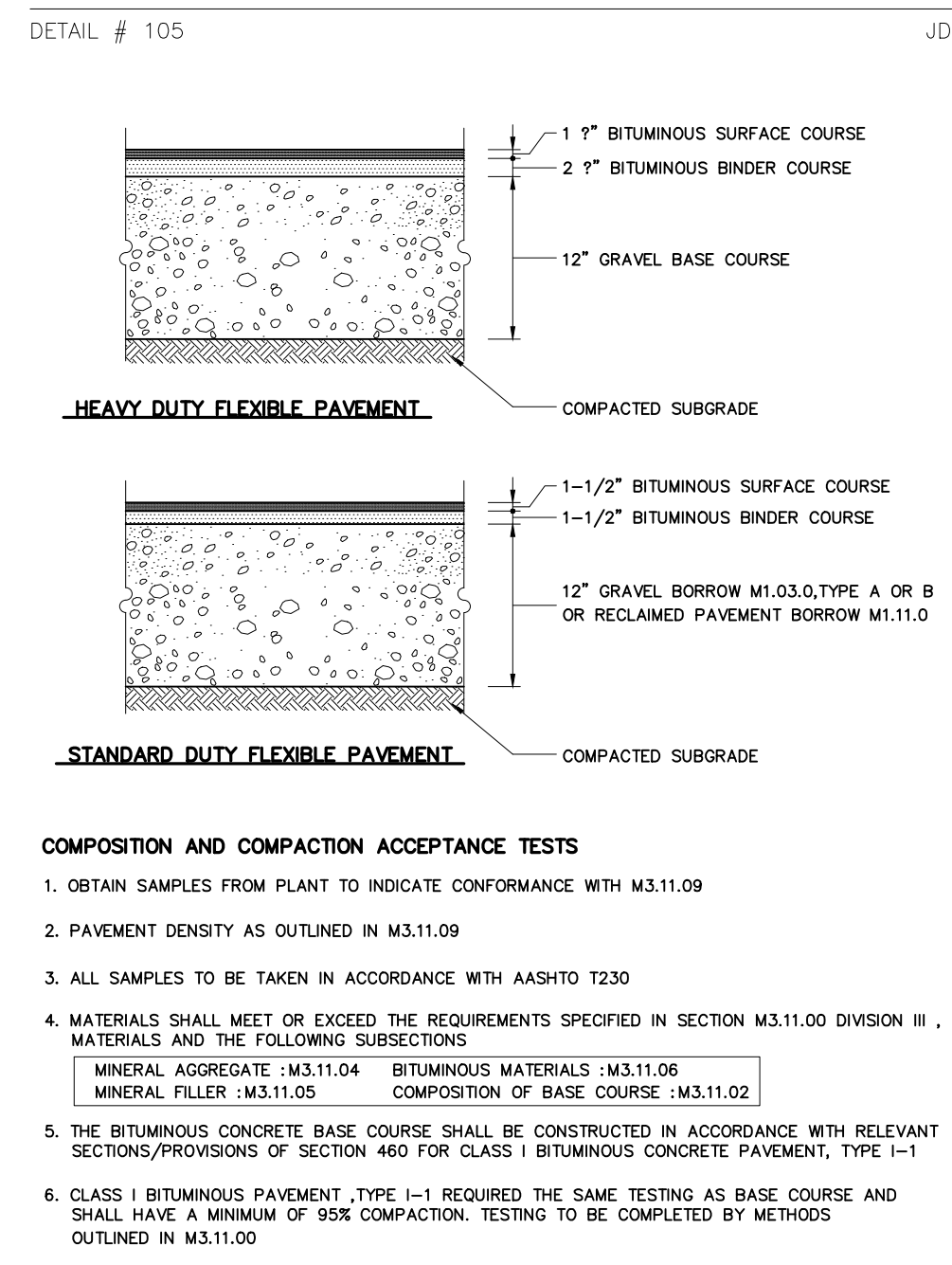
PIPE DIA.	A	B	C	D	E	R
12"	4"	2'-0"	4'-11"	2'-0"	2"	9"
15"	6"	2'-3"	3'-10"	2'-6"	2 1/2"	11"
18"	9"	2'-3"	3'-10"	3'-0"	2 1/2"	12"
24"	9 1/2"	3'-7 1/2"	2'-6"	4'-0"	3"	14"
30"	12"	4'-6"	1'-7"	5'-0"	3 1/2"	15"
36"	15"	5'-3"	2'-10"	6'-0"	4"	20"
42"	21"	5'-3"	2'-11"	6'-6"	4 1/2"	22"
48"	24"	6'-0"	2'-2"	7'-0"	5"	22"
54"	27"	5'-5"	2'-11"	7'-6"	5 1/2"	24"
60"	30"	5'-0"	3'-3"	8'-0"	6"	24"



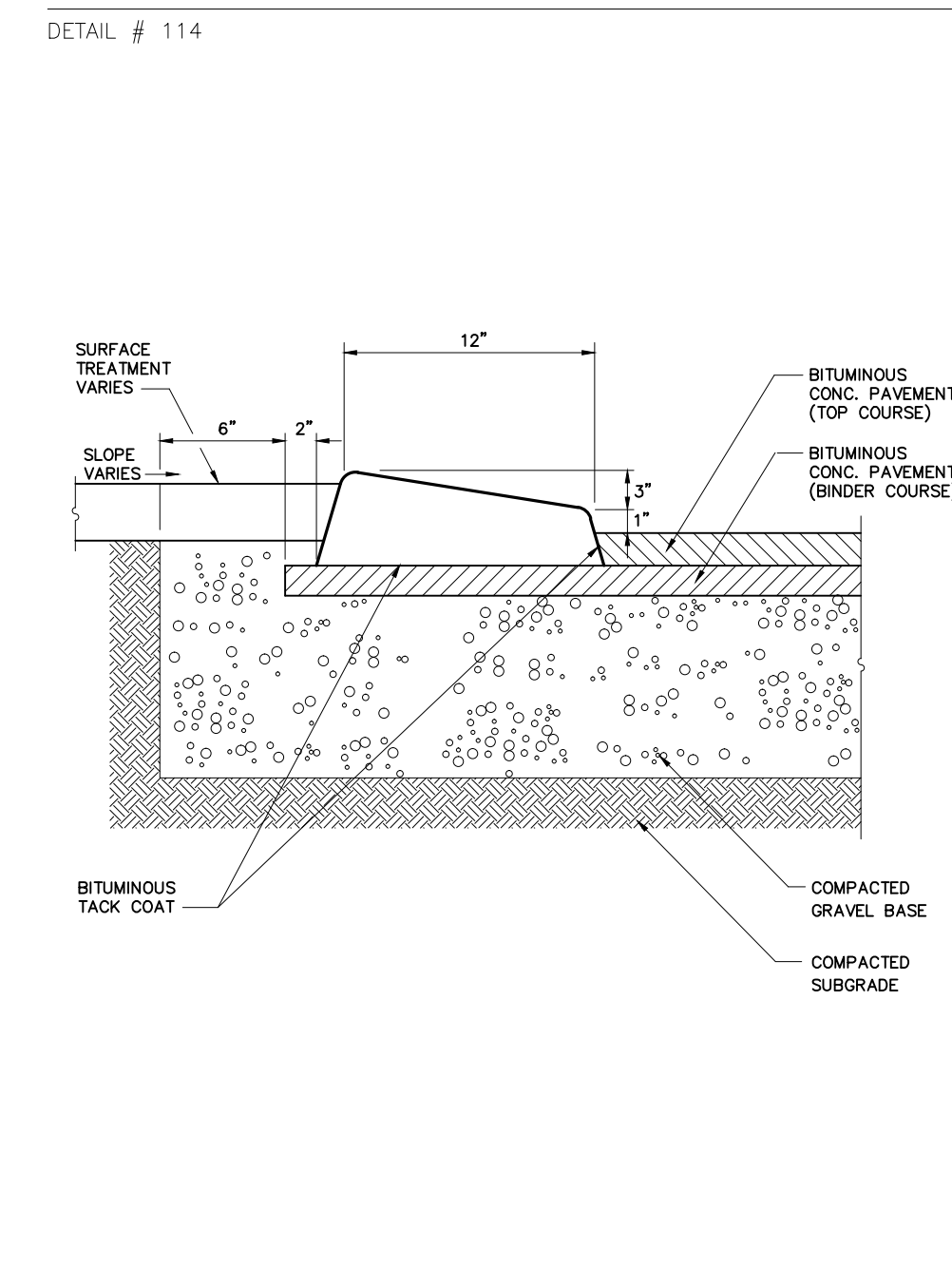
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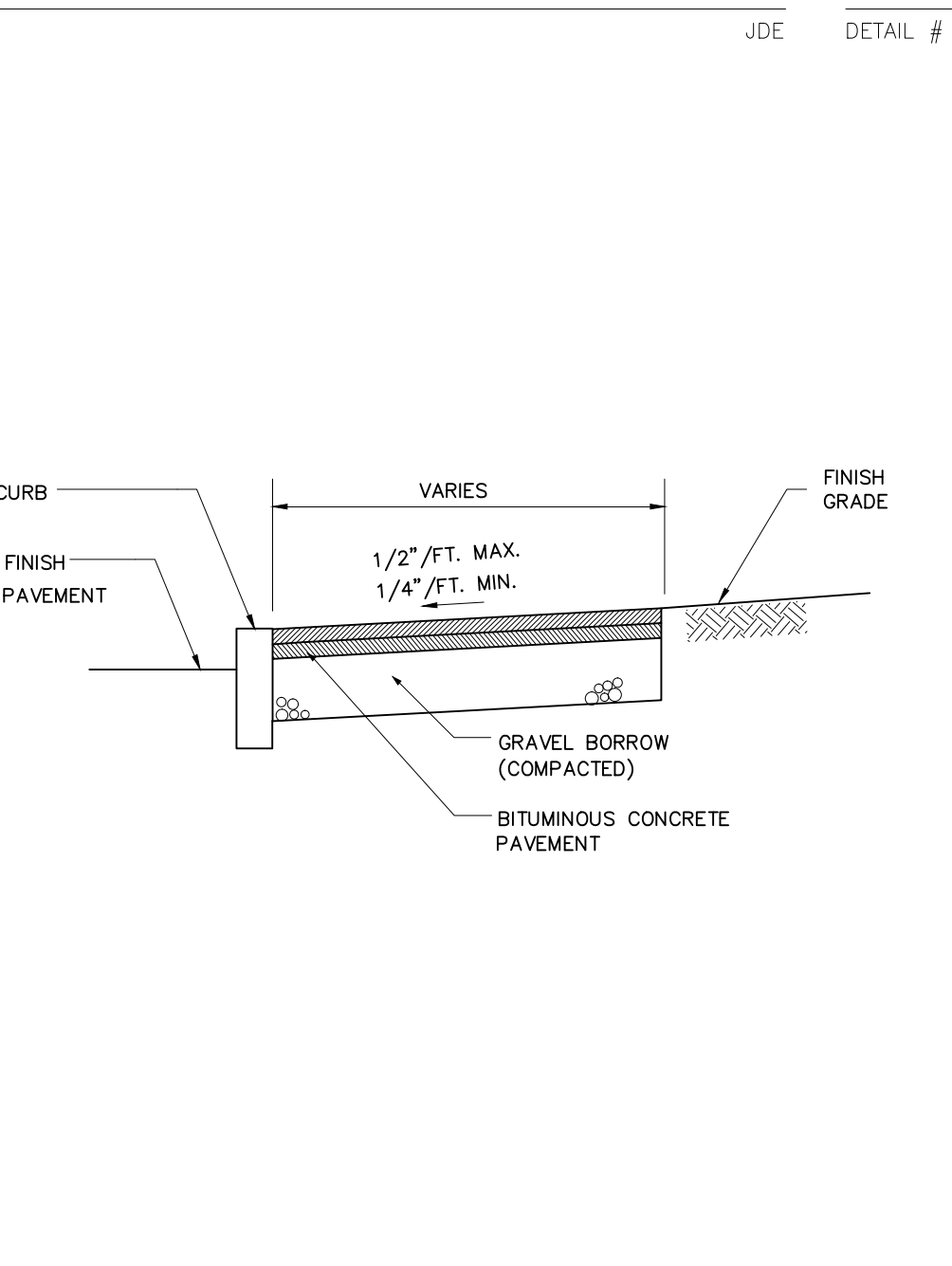
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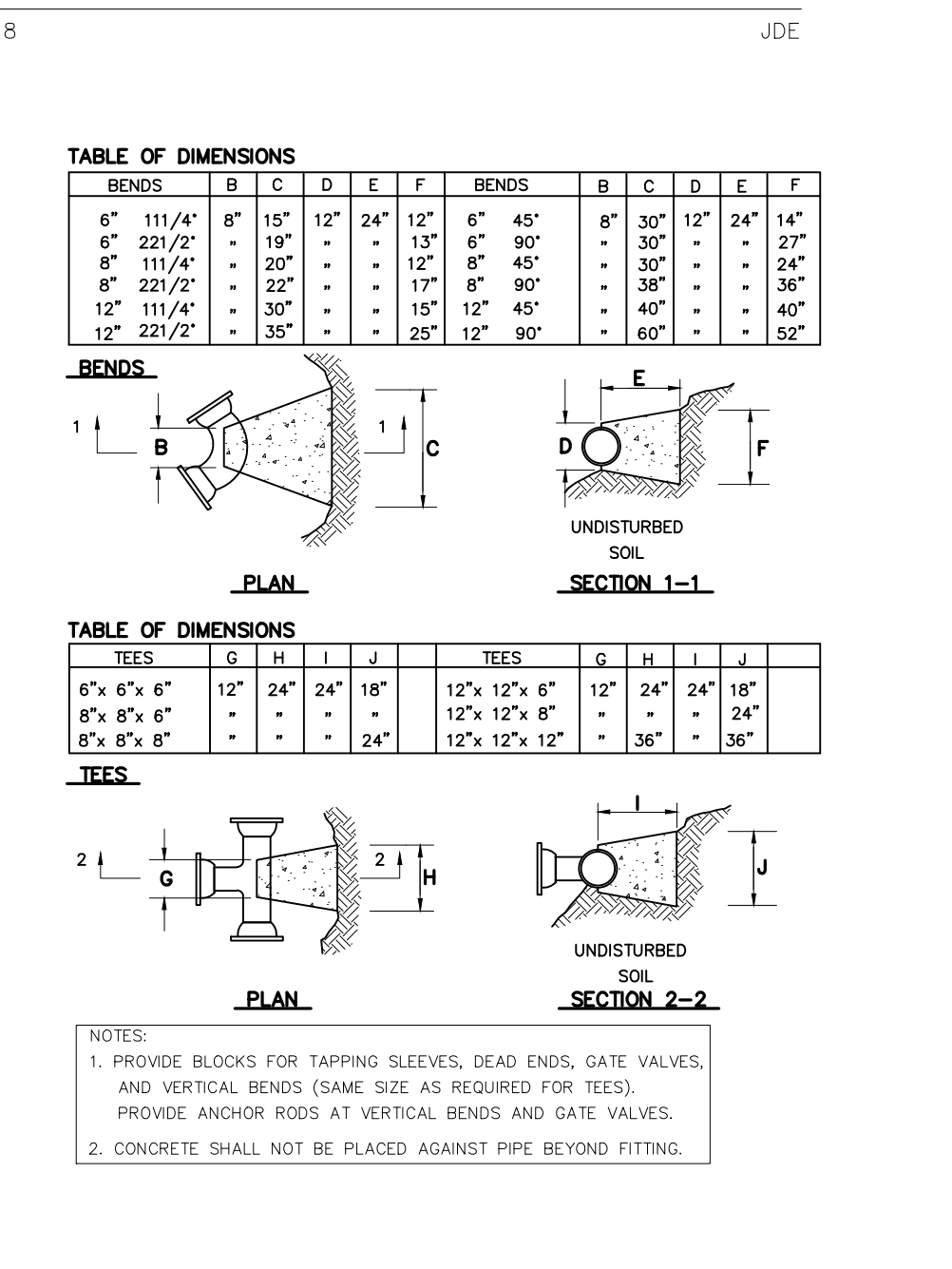
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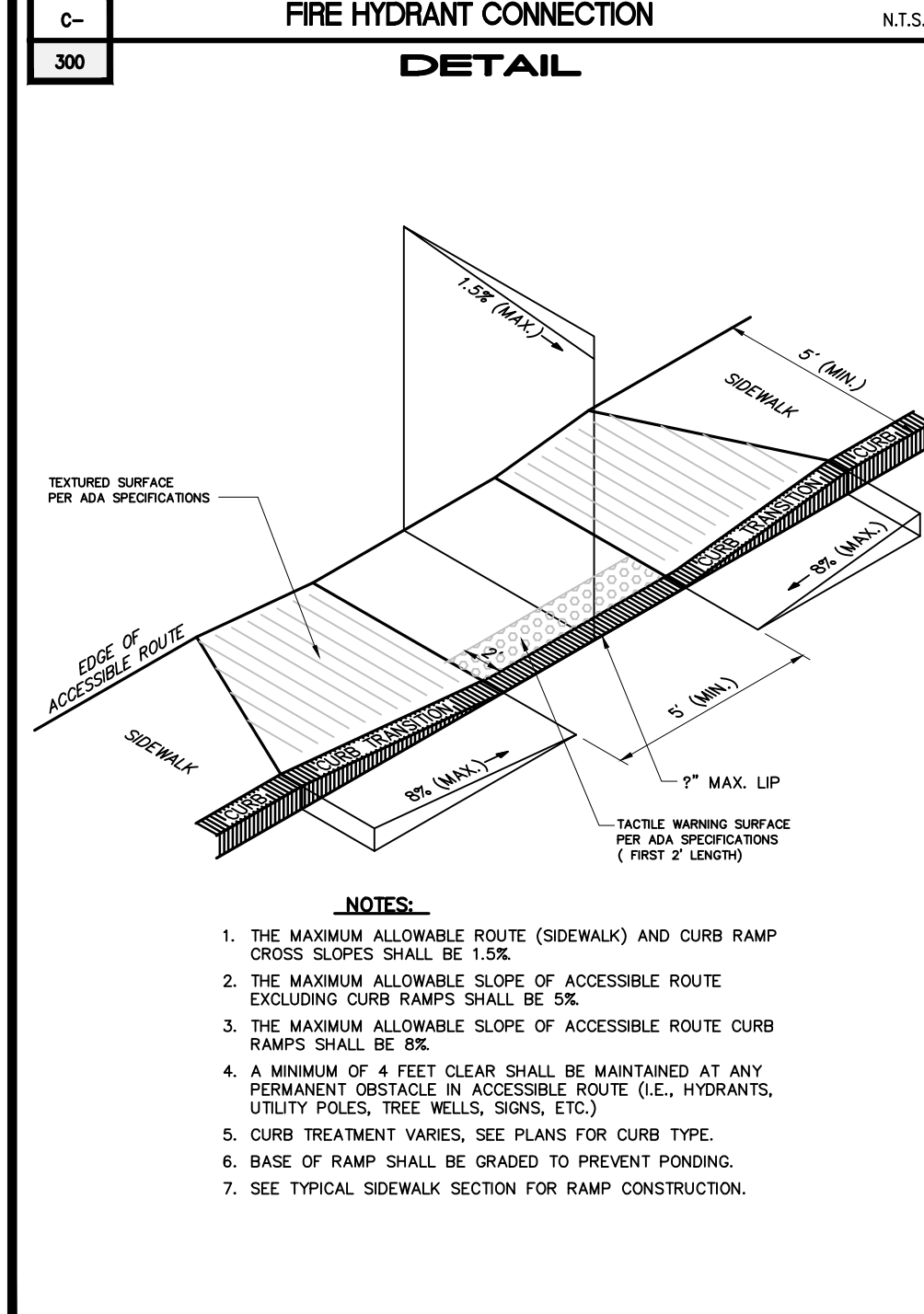
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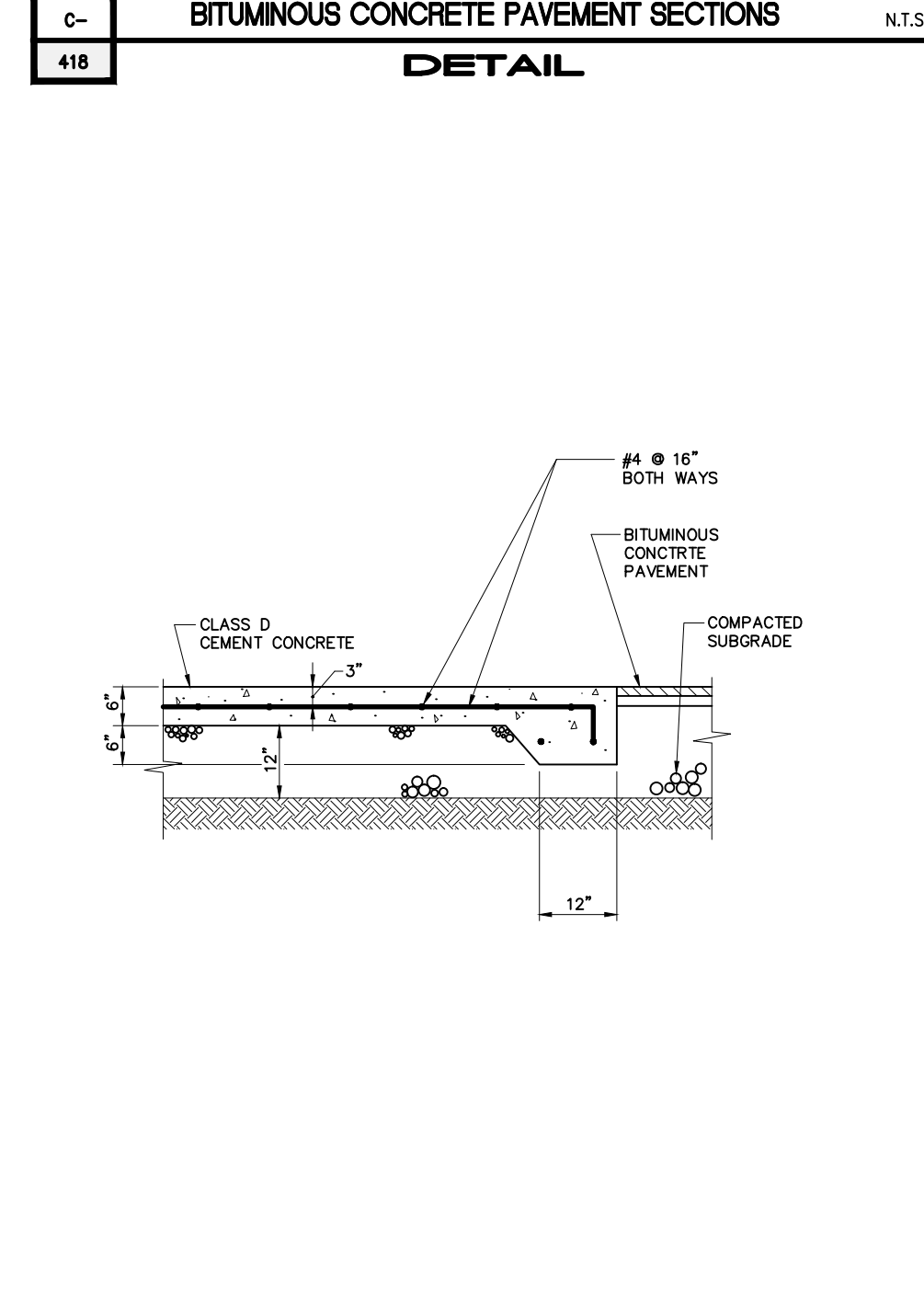
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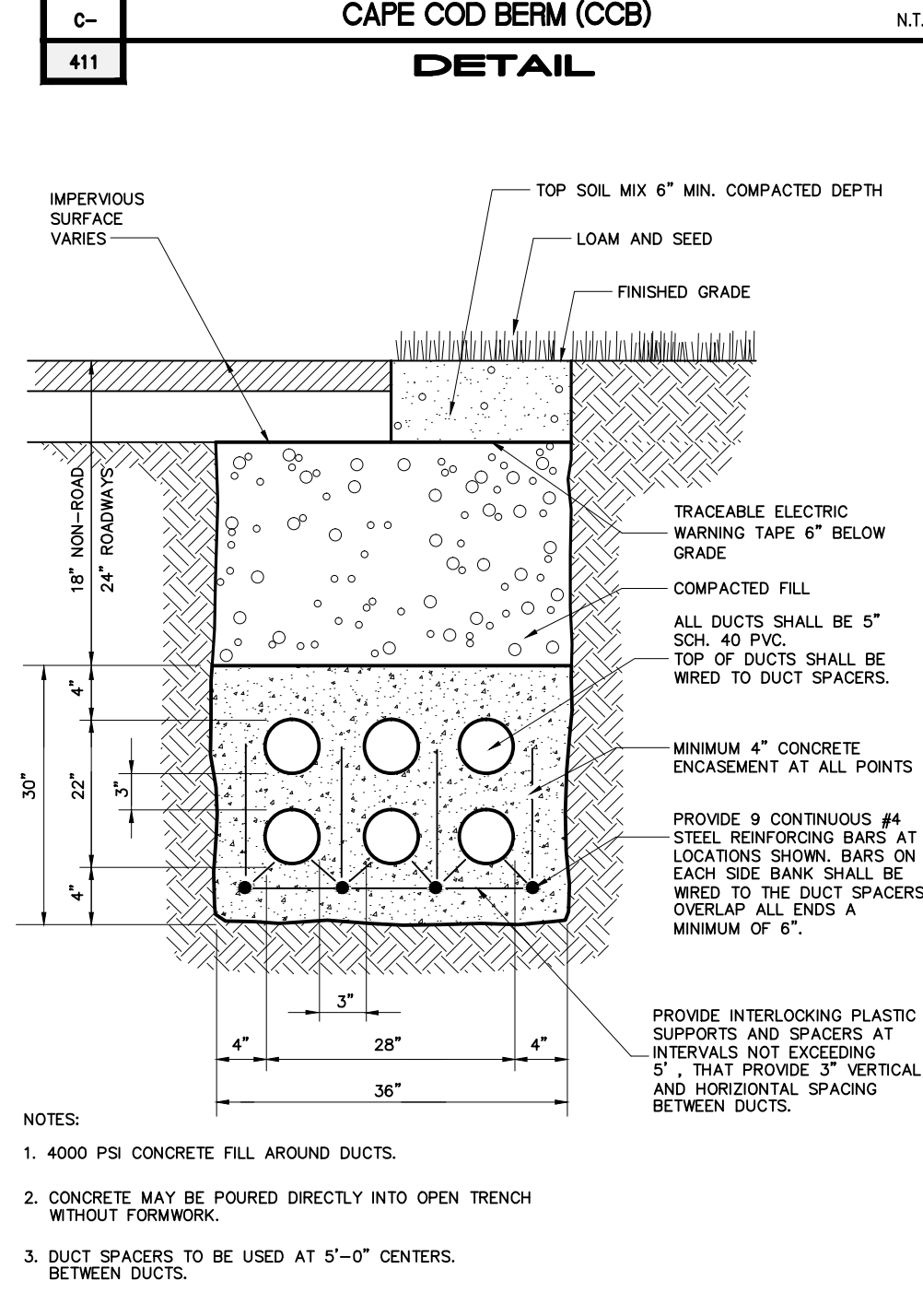
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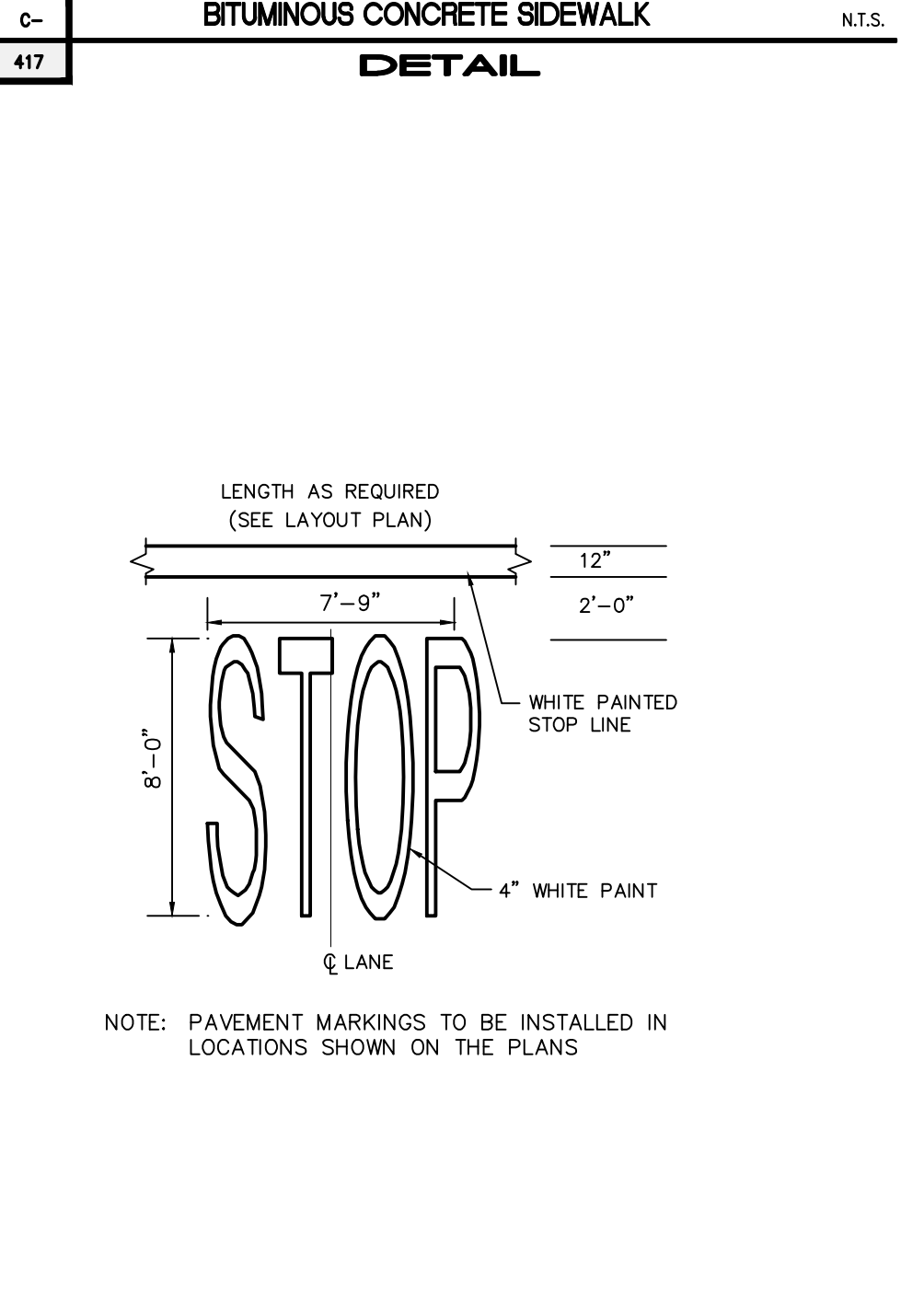
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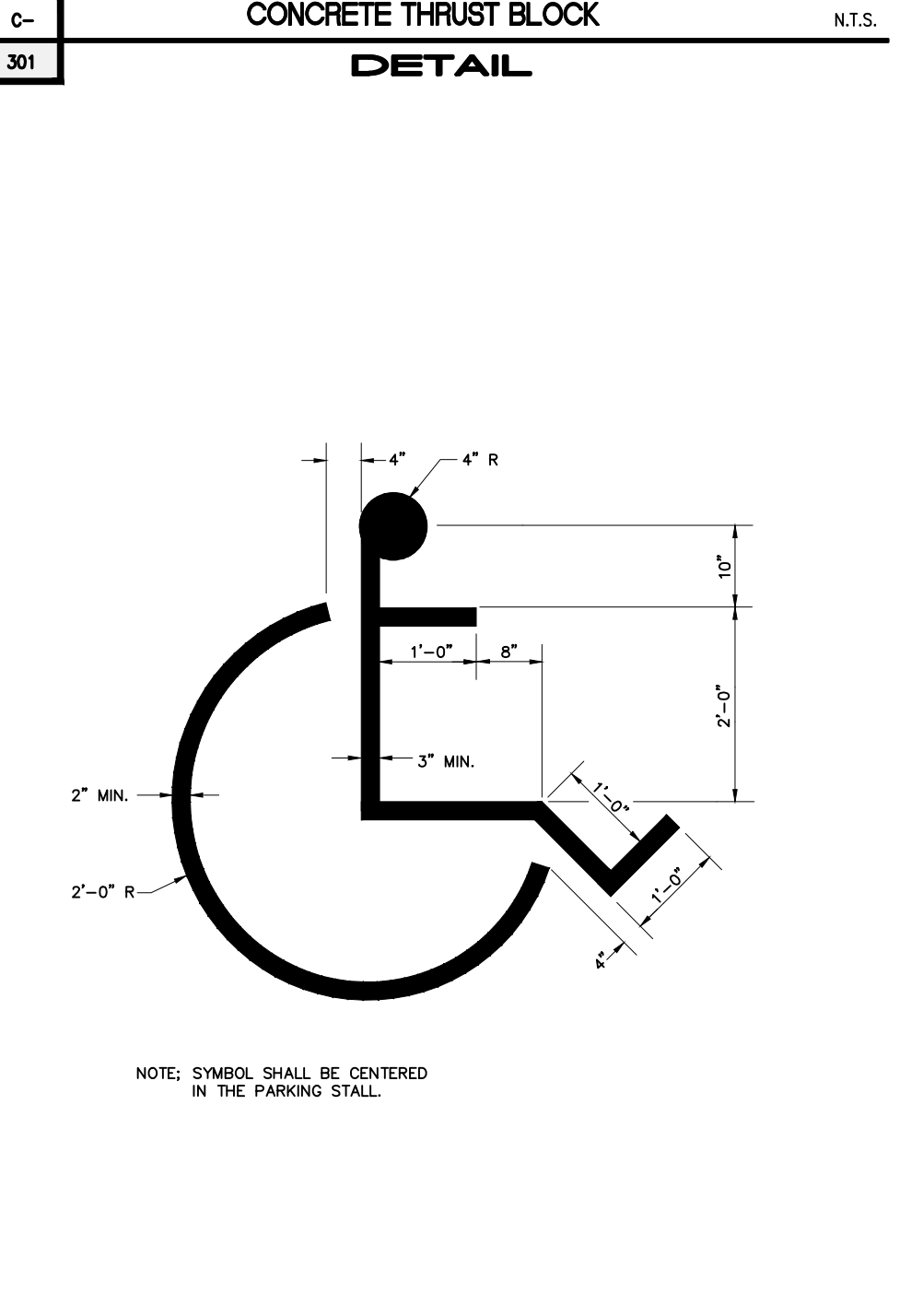
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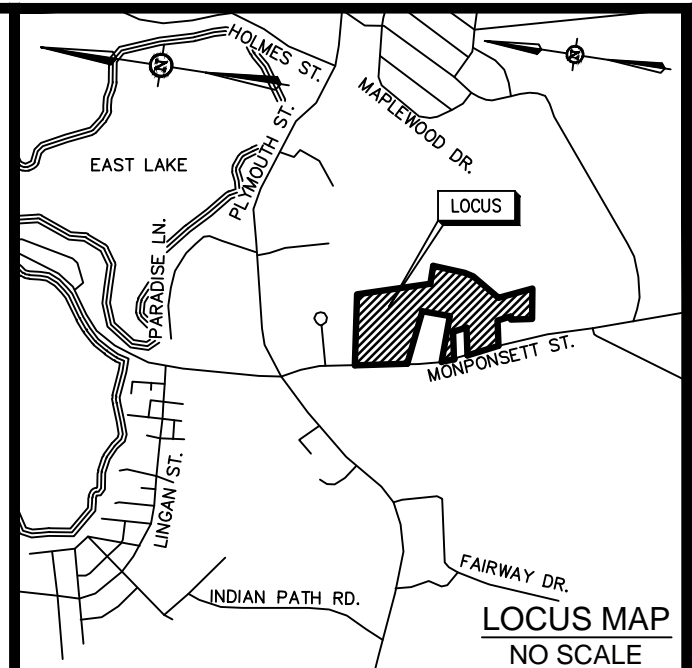
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DETAIL # 702



DETAIL # 703



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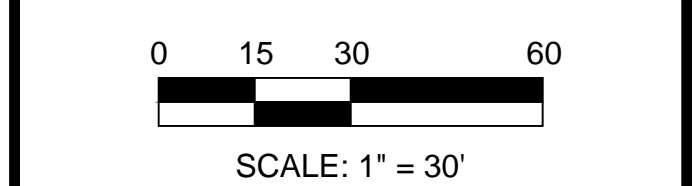
DRAWN BY: MPJ/GWD
 CHECKED BY: EPJ/GWD
 DESIGNED BY: EPJ/GWD
 JOB NUMBER: 2014-014

PREPARED FOR:
 HALIFAX TRAILS CO., INC.
 11 FOX RUN
 MARSHFIELD, MA 02050

CONSTRUCTION DETAILS PLAN I

265 MONPONSETT ST.
 IN
 HALIFAX
 (PLYMOUTH COUNTY)
 MASSACHUSETTS

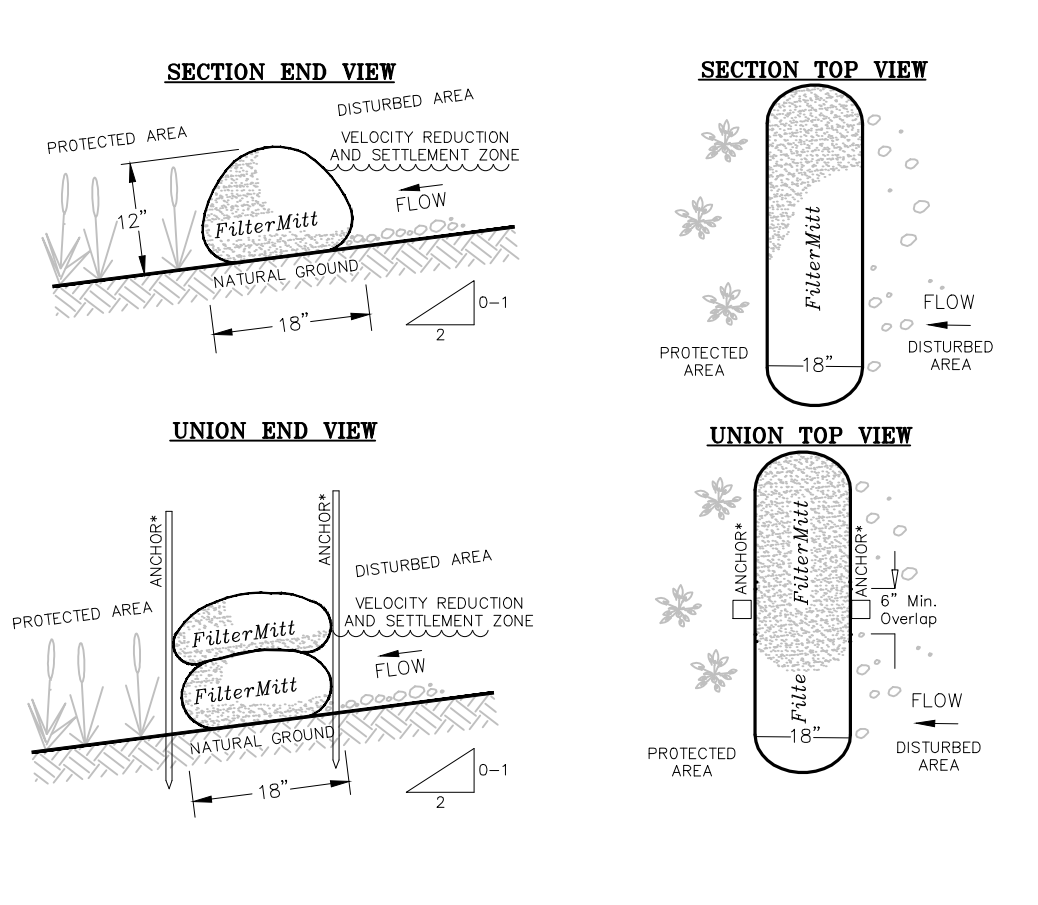
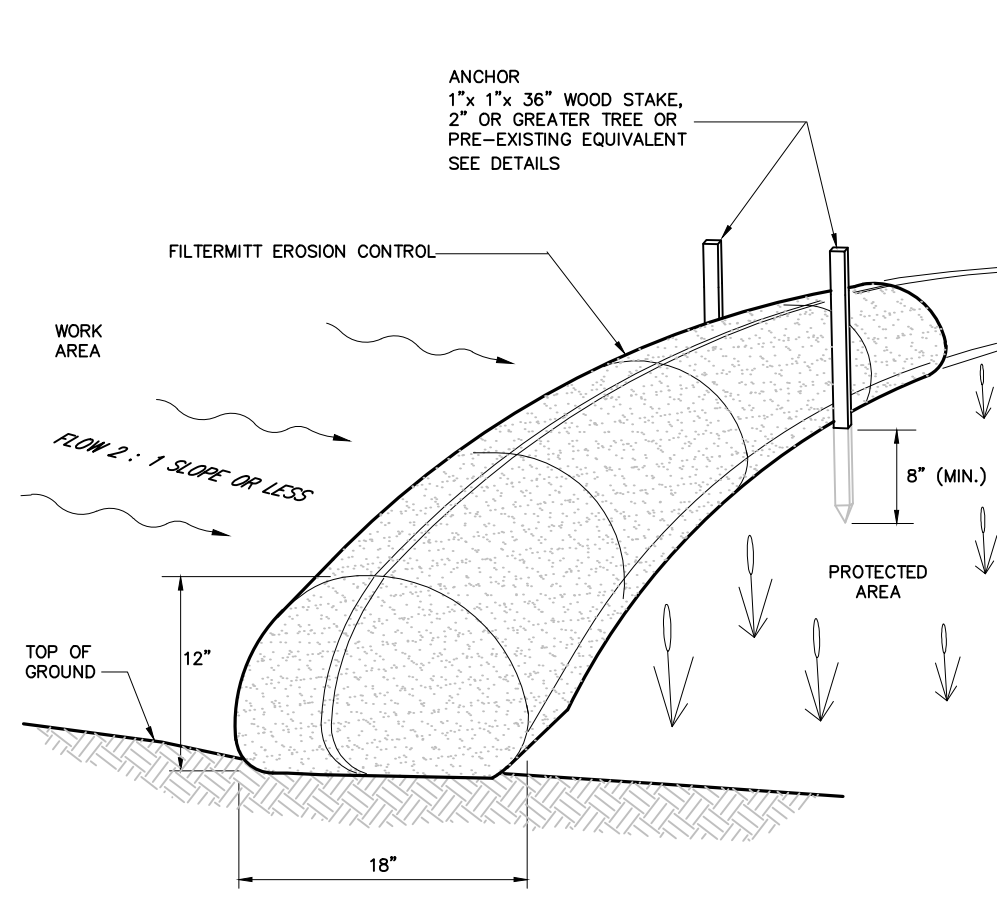
JUNE 5, 2014



JDE
 Jacobs Driscoll
 Engineering

50 Oliver Street, Suite W3
 North Easton, Massachusetts 02356
 Phone: 508-928-4400
 www.JacobsDriscoll.com

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FILTERMITT COMPONENTS:
 OUTSIDE CASING: 100% organic heather.
 FILLER INGREDIENT: FiberBed Mulch.
 A blend of coarse and fine compost and shredded wood.
 Particle sizes: 100% passing a 3" screen; 60-100% passing a 1" screen; 70-100% passing a 0.75" screen; 30-75% passing a 0.25" screen.
 Weight: Approx. 850 lbs./cu.yd.
 (Ave. 30 lbs./1.1)

FILTERMITT INSTALLATION:
 With the newest technology and equipment, sections can be constructed on site in lengths from 1' to 100'.
 Sections can also be delivered to the site in lengths from 1' to 8'.
 The flexibility of FILTERMITT allows it to conform to any contour or terrain while holding a slightly oval shape at 12" high by 18" wide.
 Where section ends meet, there shall be an overlap of 6" or greater. Both sides shall be anchored (stake stakes, trees, etc.) to stabilize the union.

For more information visit:
www.grandconcrete.com
 or contact us at:
 GrandConcrete Express, Inc.
 P.O. Box 737
 Wrentham, MA 02593
 (508) 384-7149

*ANCHOR:
 1 1/2" x 3/4" OAK STAKE
 OR
 2" OR GREATER TREE
 OR
 OTHER PRE-EXISTING
 EQUIVALENTLY
 ANCHORED OBJECT.

C-20
626

FILTERMITT EROSION CONTROL
DETAIL

N.T.S.

C-722

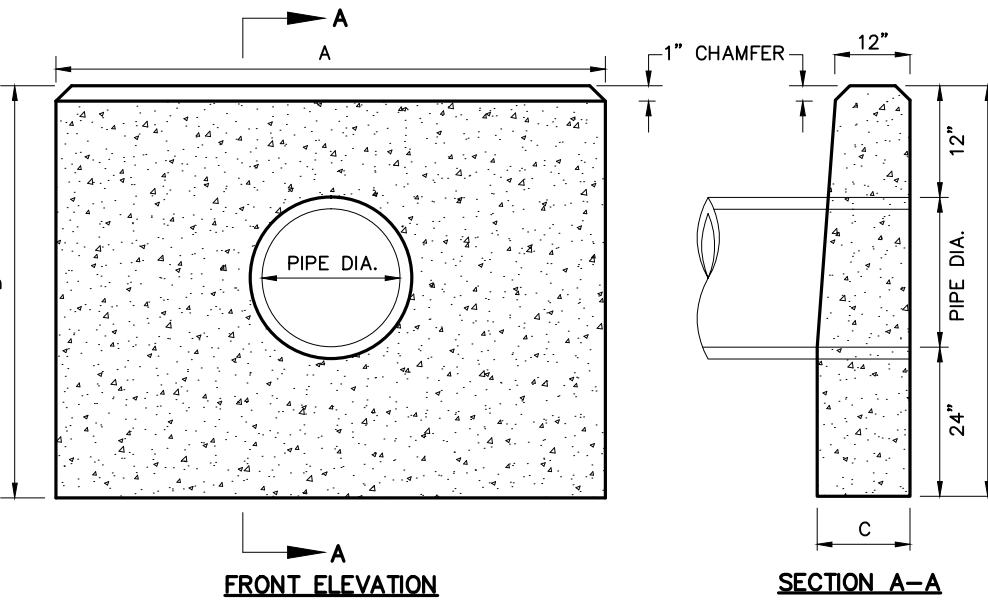
TRAFFIC SIGN POST
DETAIL

N.T.S.

C-437

ROADWAY X-SECTION
DETAIL

N.T.S.



PIPE DIA.	A	B	C
24"	6'-0"	5'-0"	12"
30"	7'-6"	5'-6"	18"
36"	9'-5"	5'-6"	18"
42"	11'-1"	6'-0"	19"
48"	12'-8"	6'-6"	21"
54"	14'-4"	7'-0"	23"
60"	16'-0"	7'-6"	25"
66"	17'-8"	8'-0"	27"
72"	19'-4"	8'-6"	29"

NOTES:
 1. CONCRETE SHALL BE COMPRESSIVE STRENGTH 4000 PSI, TYPE II CEMENT.
 2. SHOP DRAWINGS FOR PLACEMENT OF REINFORCING SHALL BE SUBMITTED TO THE ENGINEER BY THE CONTRACTOR.

CONCRETE HEADWALL (HW)
DETAIL # 116

ROOF DRAIN
DETAIL # 132

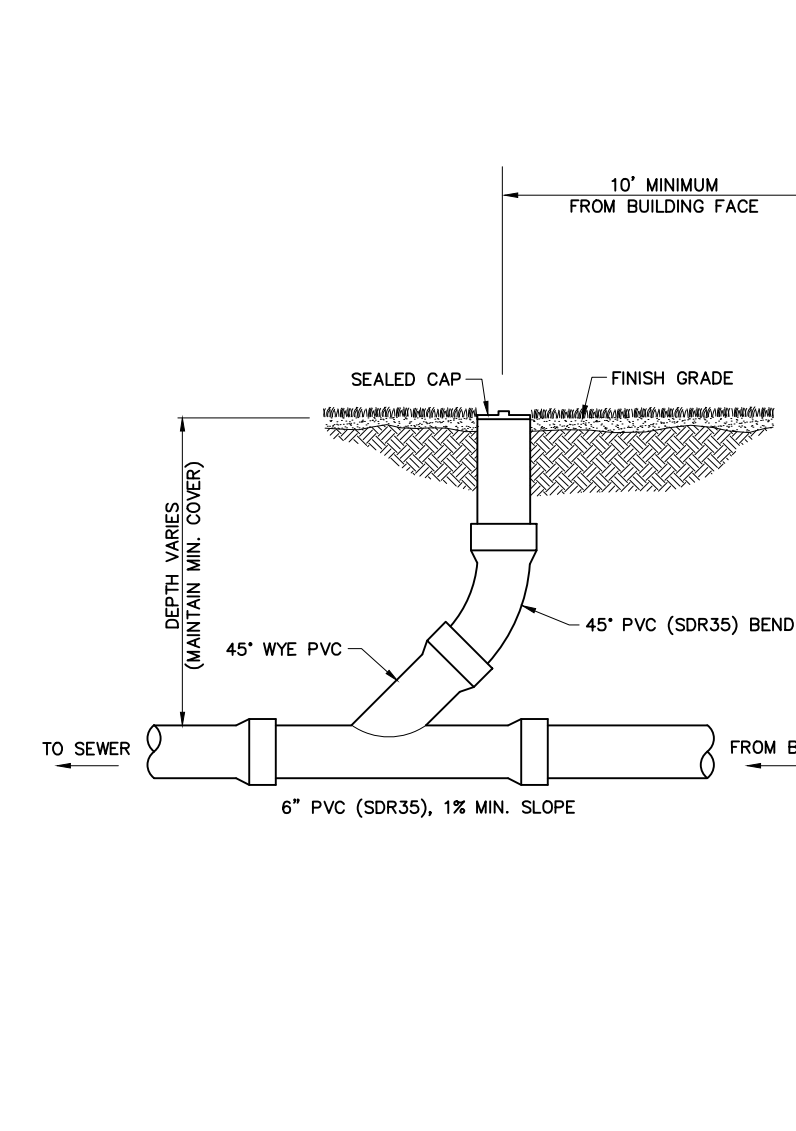
CHAIN LINK FENCE
DETAIL # 905

JDE

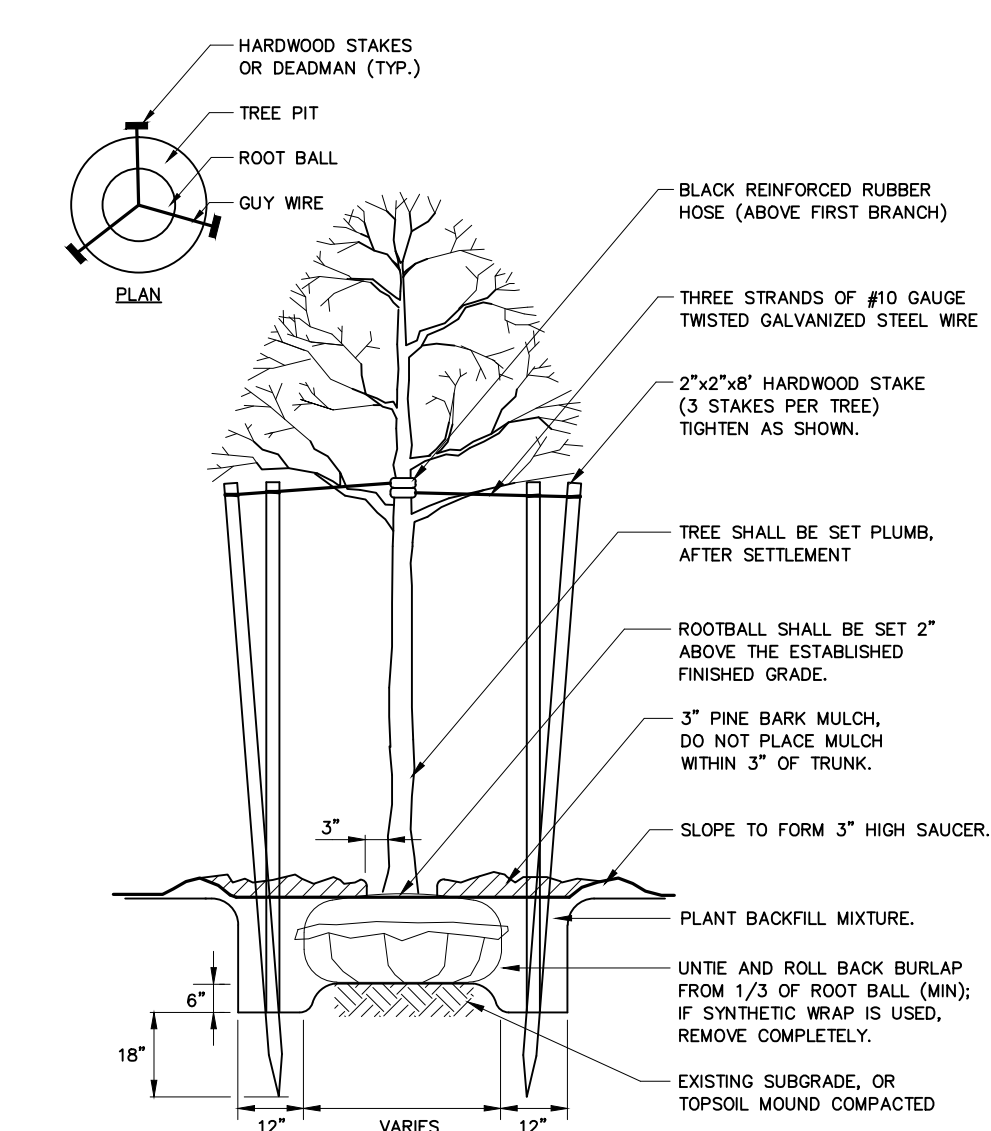
JDE

JDE

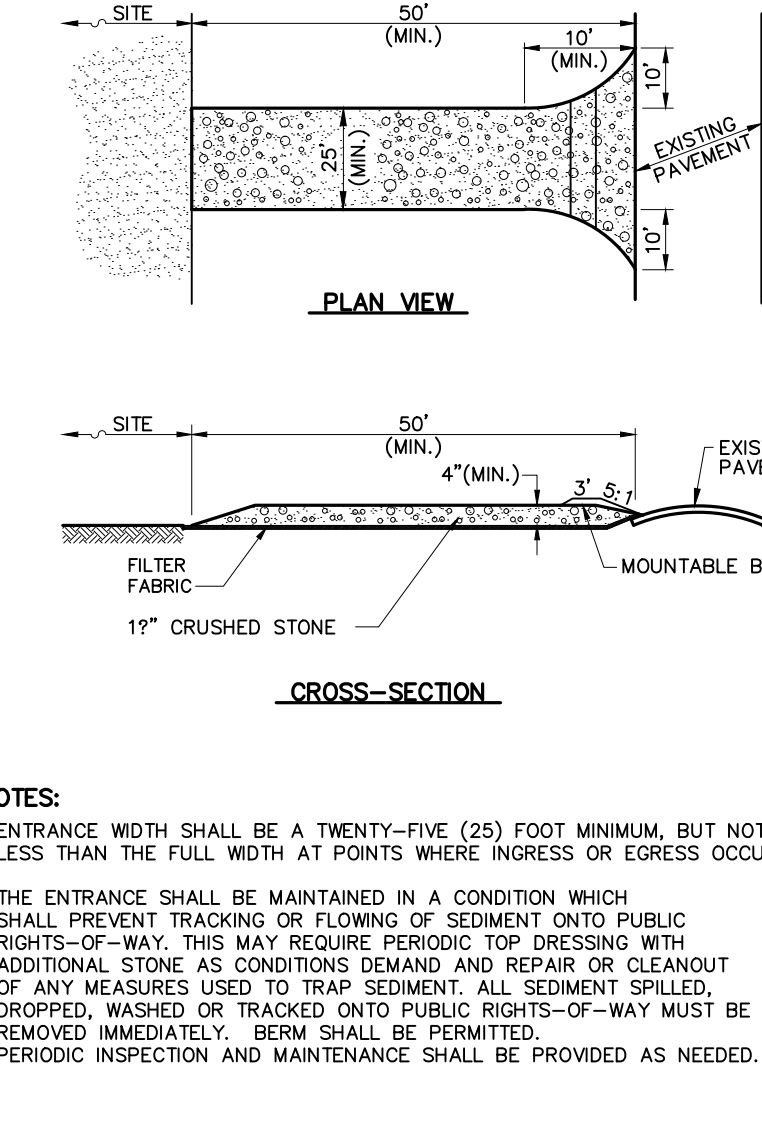
JDE



SEWER SERVICE CLEAN-OUT
DETAIL



TREE PLANTING (For Trees under 4" caliper)
DETAIL



STABILIZED CONSTRUCTION EXIT
DETAIL # 609

JDE

C-500

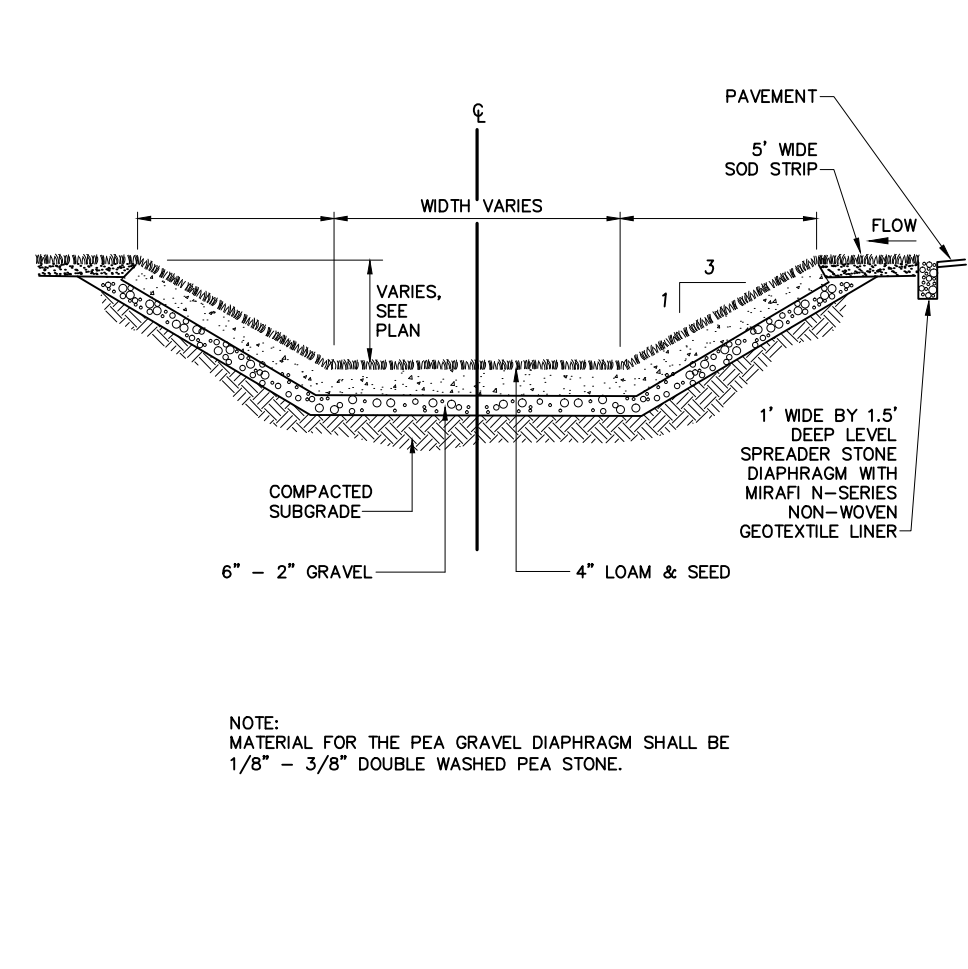
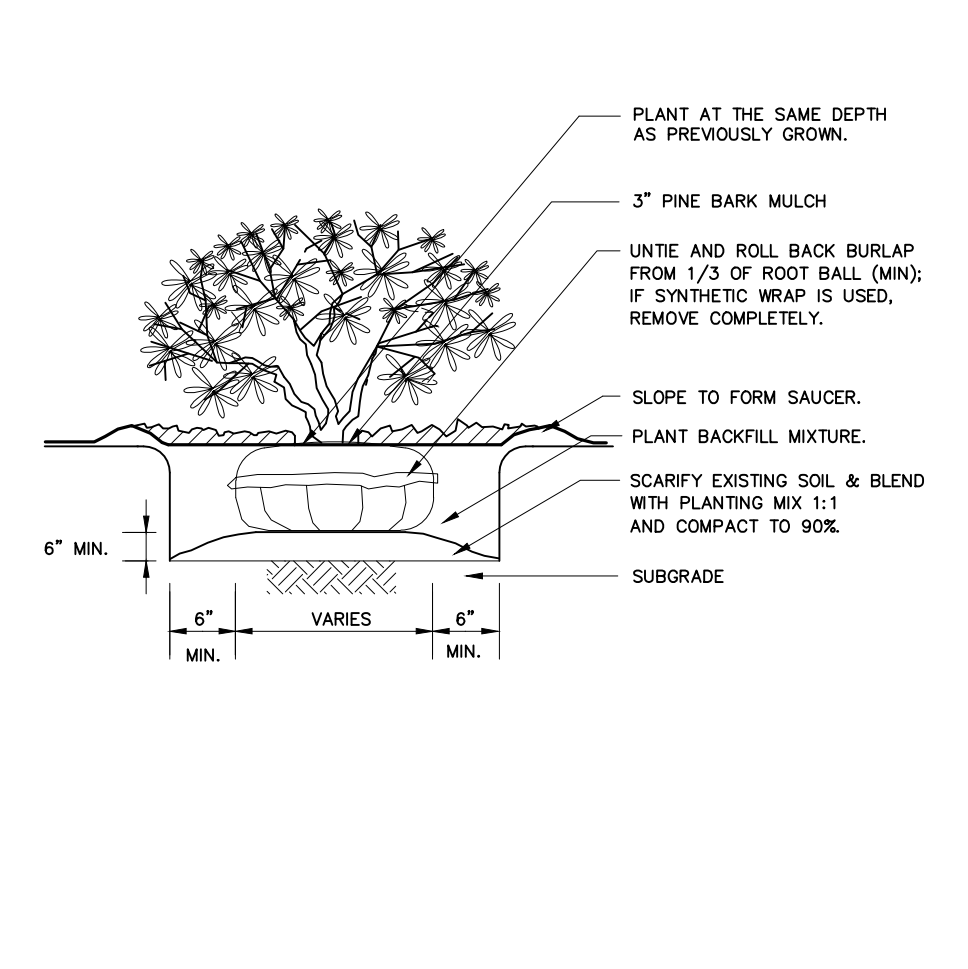
SHRUB PLANTING
DETAIL

N.T.S.

C-134

GRASS SWALE
DETAIL

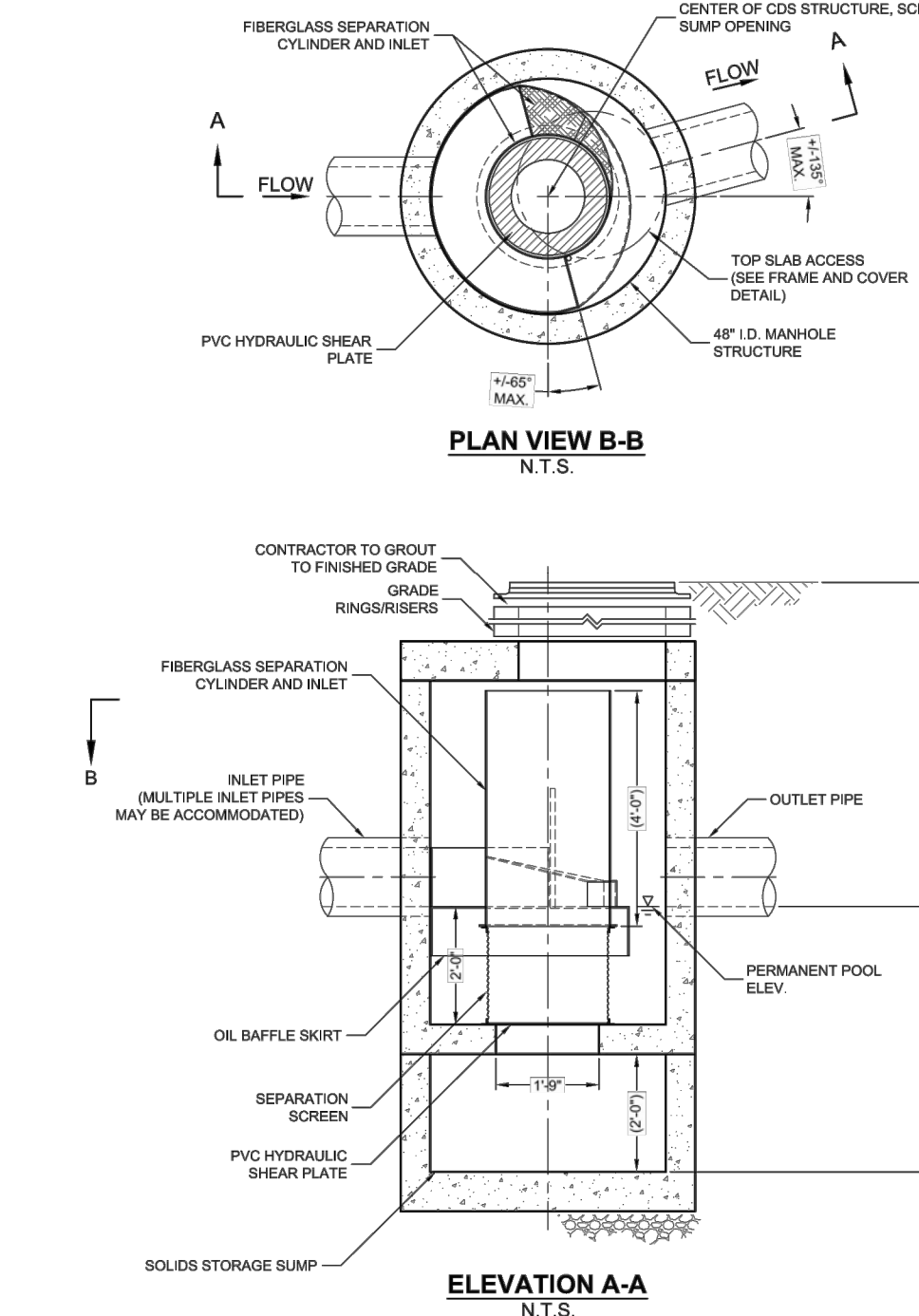
N.T.S.



SHRUB PLANTING
DETAIL

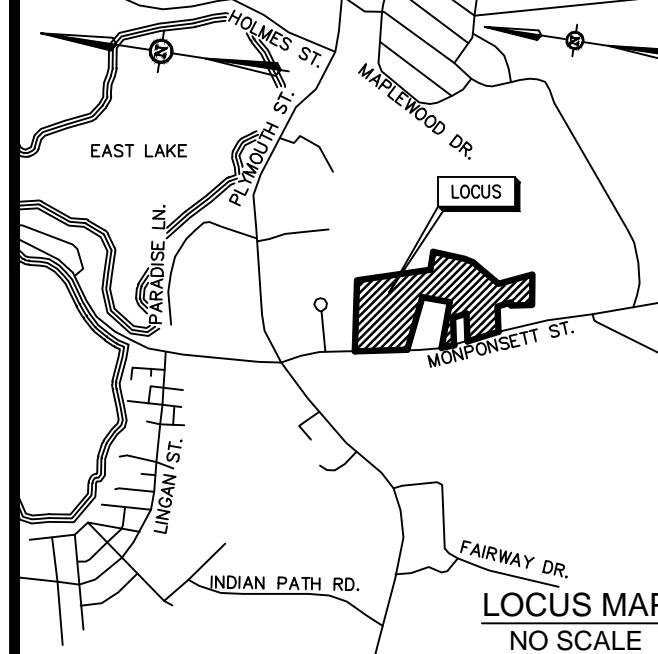
GRASS SWALE
DETAIL

CDS2015-4-C DESIGN NOTES



CDS2015-4-C DESIGN NOTES

CDS2015-4-C RATED TREATMENT CAPACITY IS 1.4 CFS, OR PER LOCAL REGULATIONS. MAXIMUM HYDRAULIC INTERNAL BYPASS CAPACITY IS 10.0 CFS. IF THE SITE CONDITIONS EXCEED 10.0 CFS, AN UPSTREAM BYPASS STRUCTURE IS REQUIRED.
 THE STANDARD CDS2015-4-C CONFIGURATION IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW. SOME CONFIGURATIONS MAY BE COMBINED TO MEET YOUR REQUIREMENTS.
CONFIGURATION DESCRIPTION
 (GRATED INLET ONLY (NO INLET PIPE)
 (GRATED INLET WITH INLET PIPE OR PIPES
 (CURB INLET ONLY (NO INLET PIPE)
 (CURB INLET WITH INLET PIPE OR PIPES
GENERAL NOTES:
 1. CONTRACTOR TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
 2. DIMENSIONS MARKED WITH () ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
 3. FOR FABRICATION DRAWINGS WITH DETAILS STRUCTURE LURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH CONSTRUCTION PRODUCTS REPRESENTATIVE. www.contech-cps.com
 4. CDS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
 5. STRUCTURE SHALL MEET AASHTO H20 AND CASTINGS SHALL MEET AASHTO M300 LOAD RATING, ASSUMING GROUNDWATER ELEVATION AT OR BELOW THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION.
 6. PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.
INSTALLATION NOTES:
 1. ANY SURFACE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
 2. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE (LIFTING CLUTCHES PROVIDED).
 3. CONTRACTOR TO ASSESS JOINT BEHAVIOR BETWEEN ALL STRUCTURE SECTIONS, AND ASSEMBLE STRUCTURE.
 4. CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN.
 5. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.



PERMITTING SET

REVISIONS		
No.	DATE	DESCRIPTION
1	7/10/2014	REFINE STORMWATER AND GRADING DESIGN, UPDATED WETLAND FLAGS, ADDITIONAL TOPO, MISC REVISIONS.
2	7/17/2014	BLDG LOT LINES, MISC. REVS.
3	8/21/2014	PER REVIEW COMMENTS

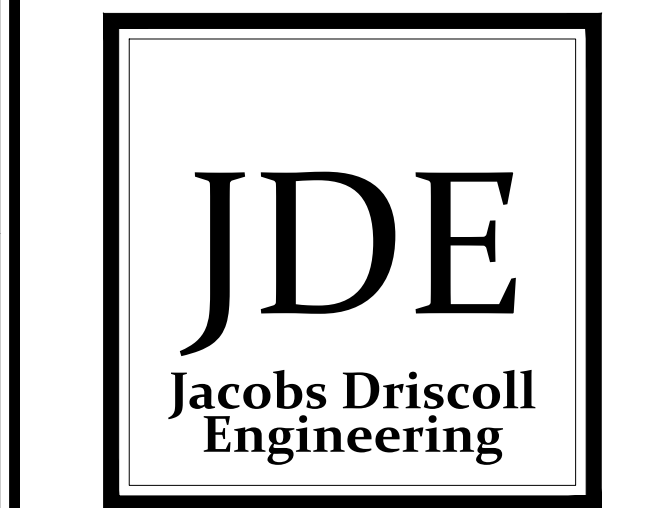
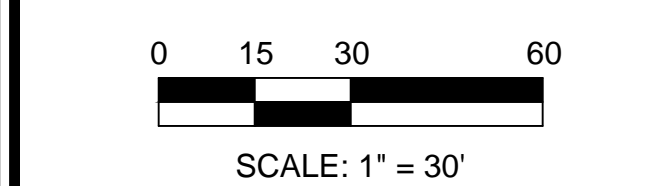
DRAWN BY: MPJ/GWD
 CHECKED BY: EPJ/GWD
 DESIGNED BY: EPJ/GWD
 JOB NUMBER: 2014-014

PREPARED FOR:
 HALIFAX TRAILS CO., INC.
 11 FOX RUN
 MARSHFIELD, MA 02050

CONSTRUCTION
DETAILS PLAN II

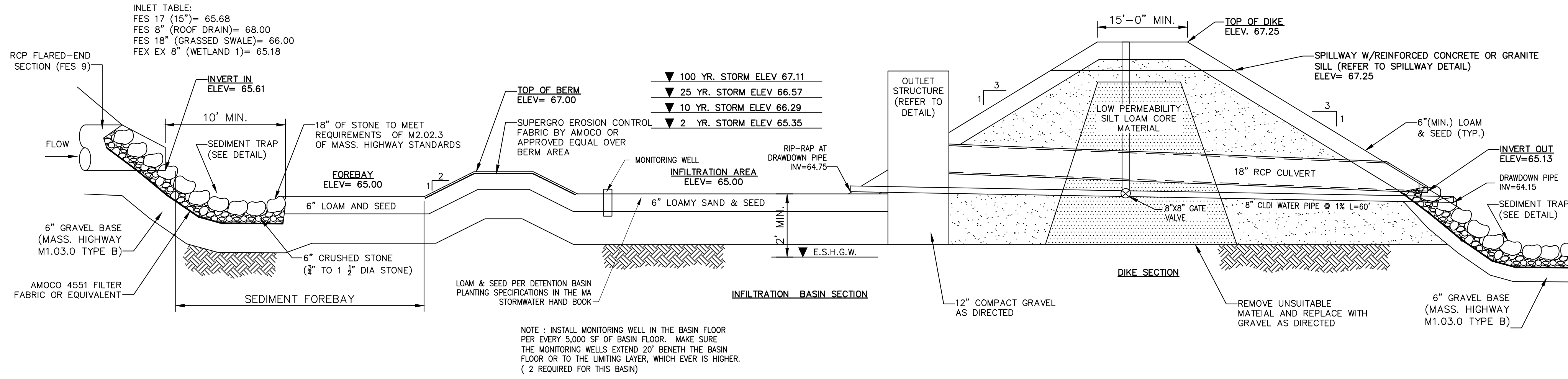
265 MONPONSETT ST.
 IN
 HALIFAX
 (PLYMOUTH COUNTY)
 MASSACHUSETTS

JUNE 5, 2014



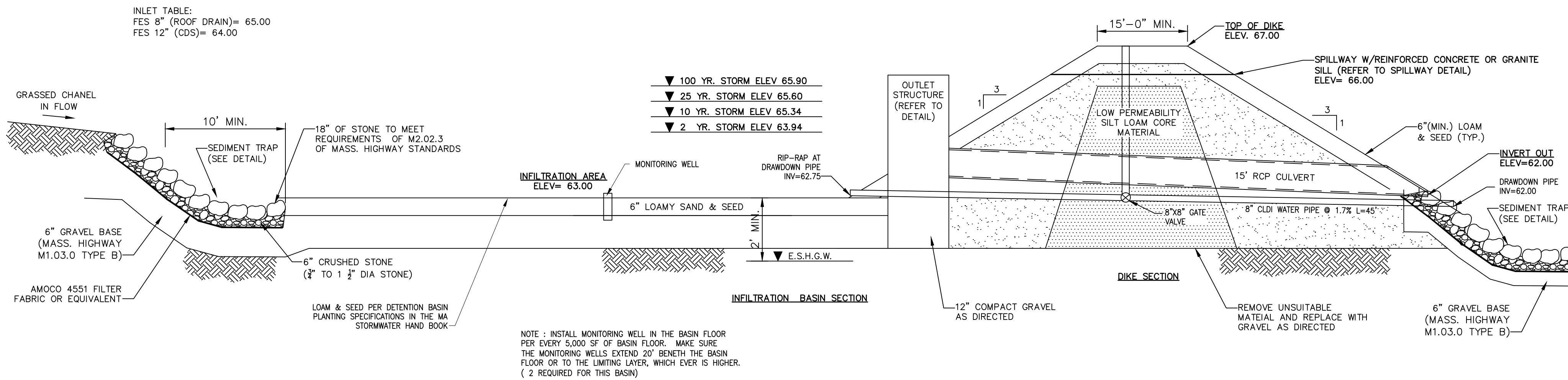
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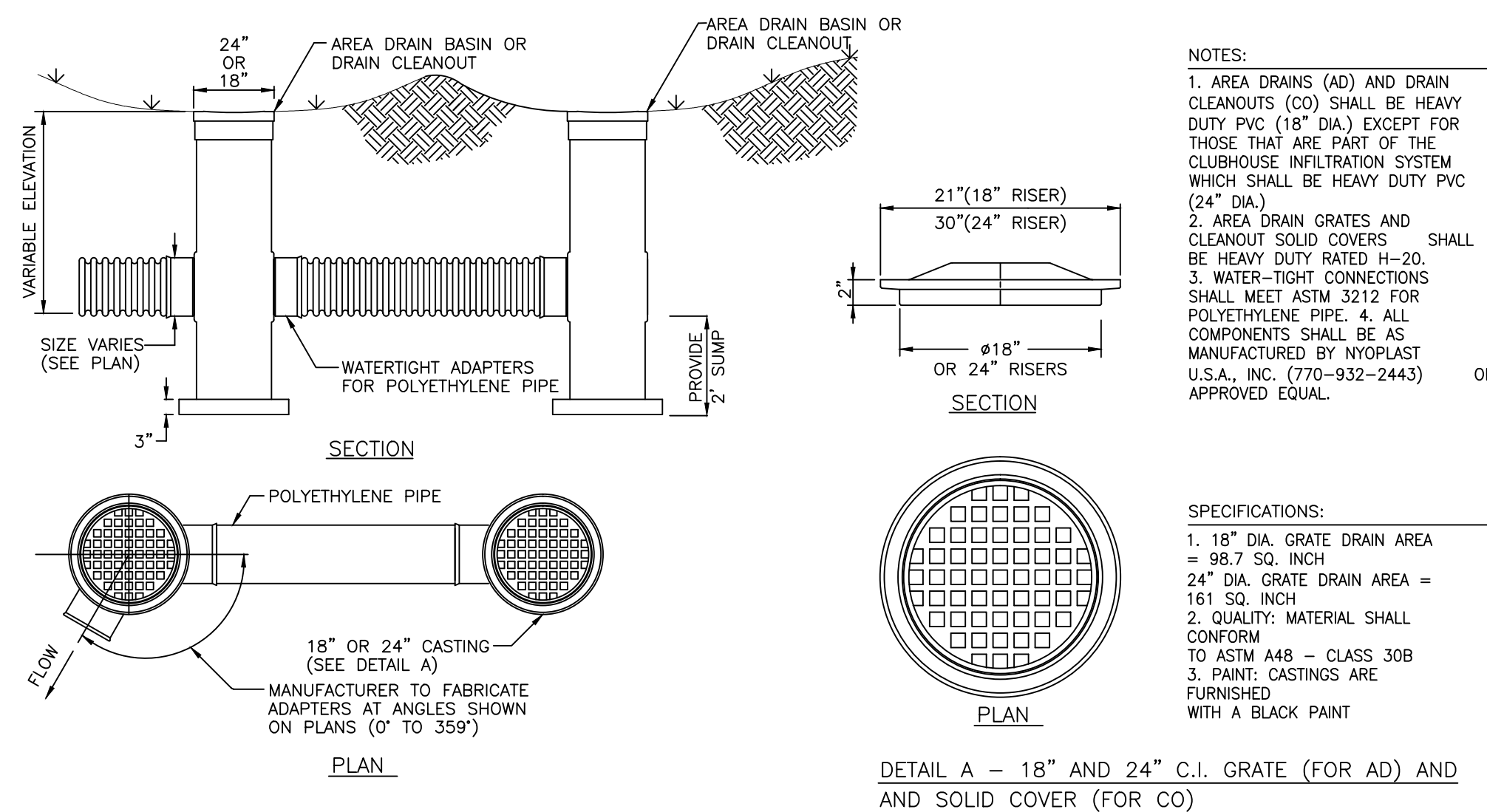
INFILTRATION BASIN #2A DETAIL

JDE

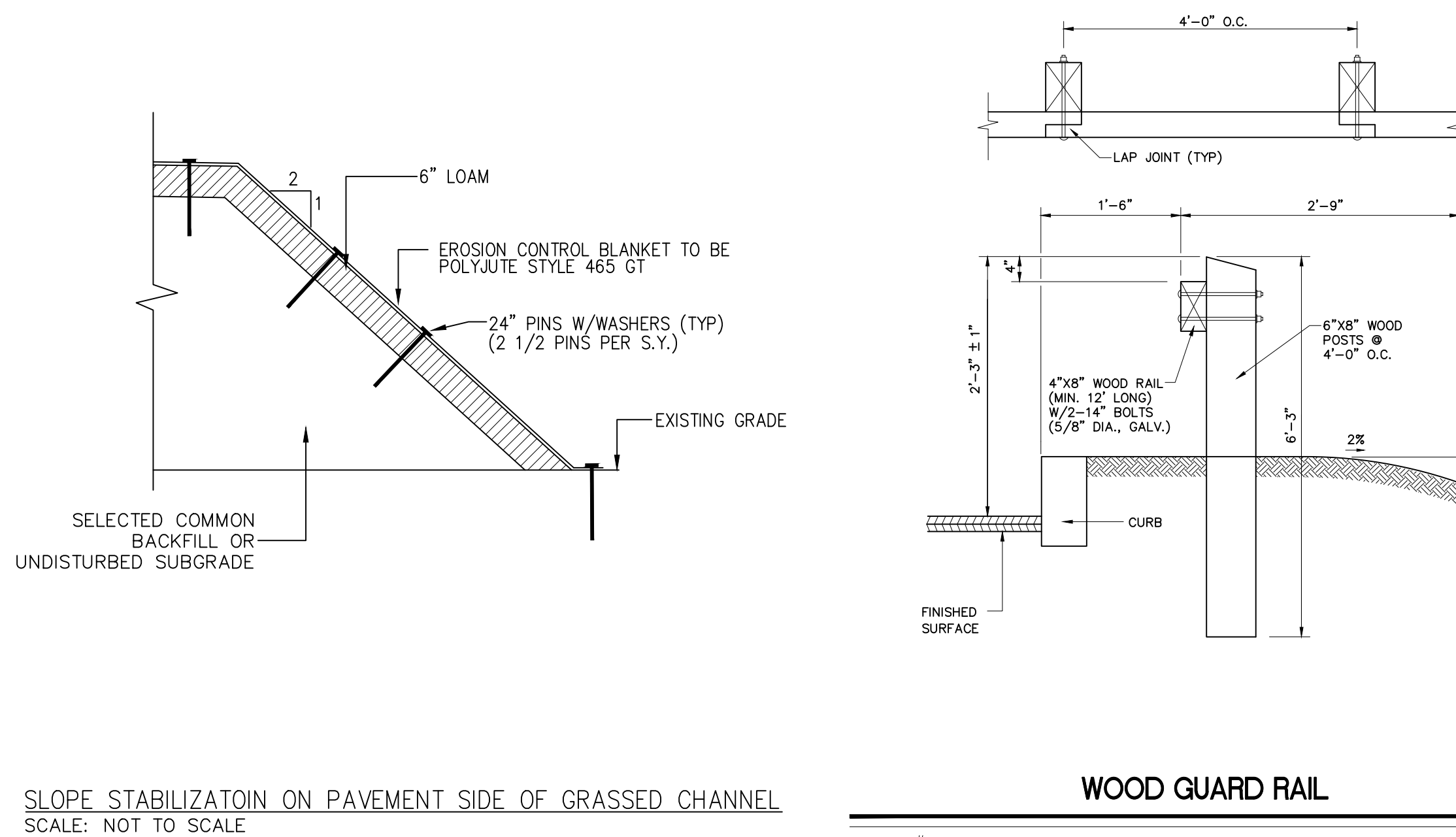


INFILTRATION BASIN #3 DETAIL

JDE

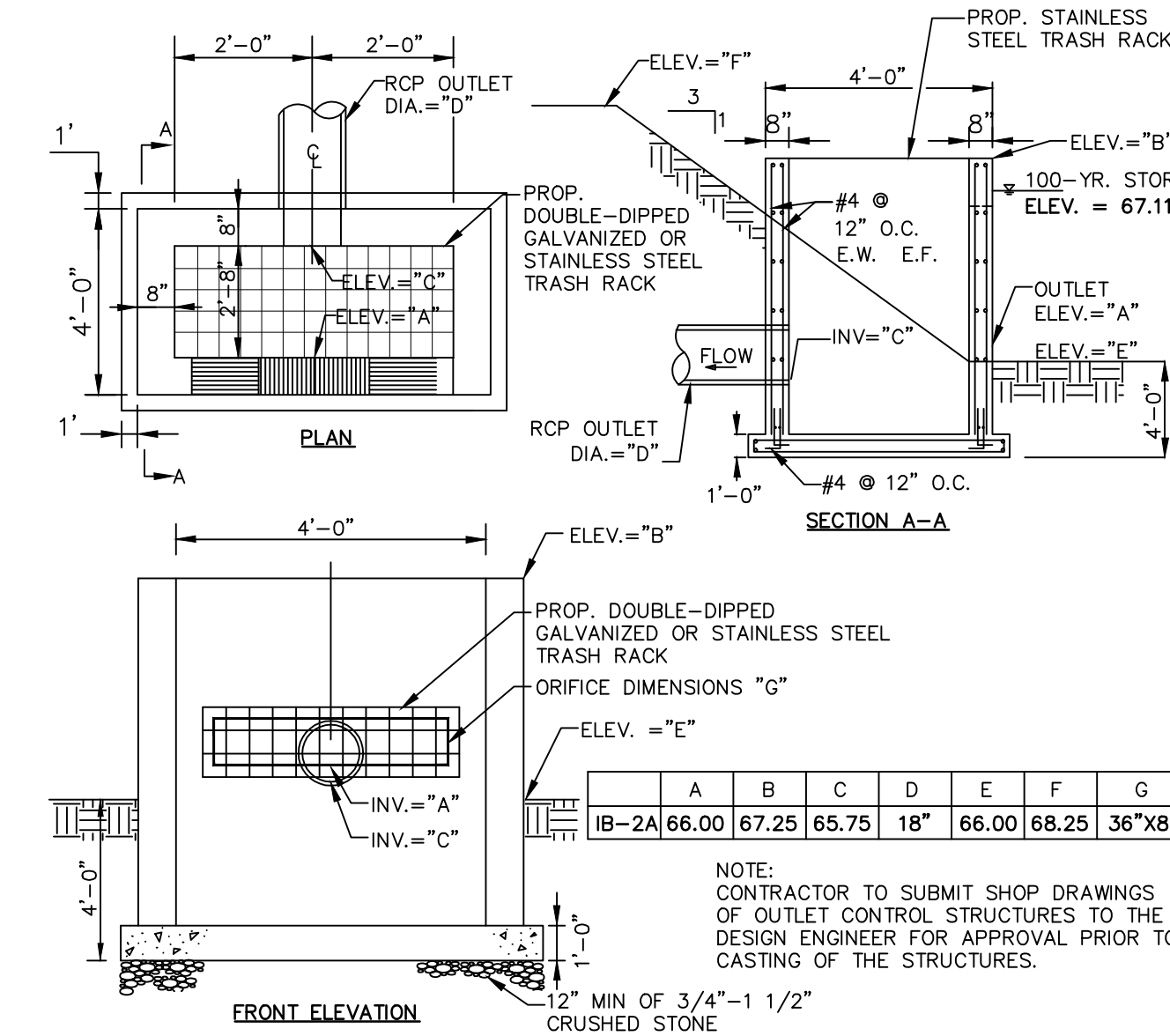


AREA DRAINS (AD) AND DRAIN CLEANOUTS (CO)
 SCALE: N.T.S.



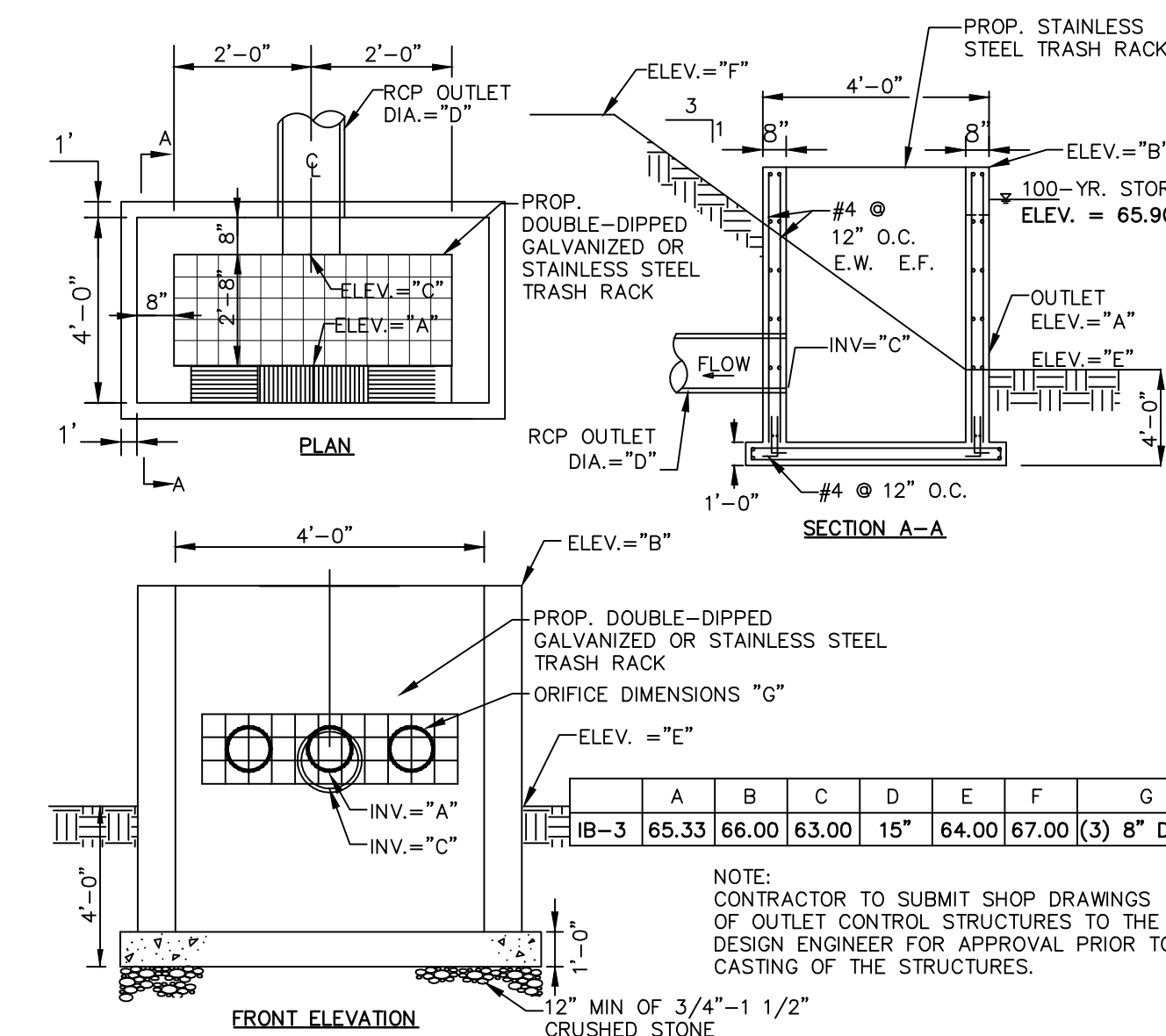
SLOPE STABILIZATION ON PAVEMENT SIDE OF GRASSED CHANNEL
 SCALE: NOT TO SCALE

DETAIL # 901



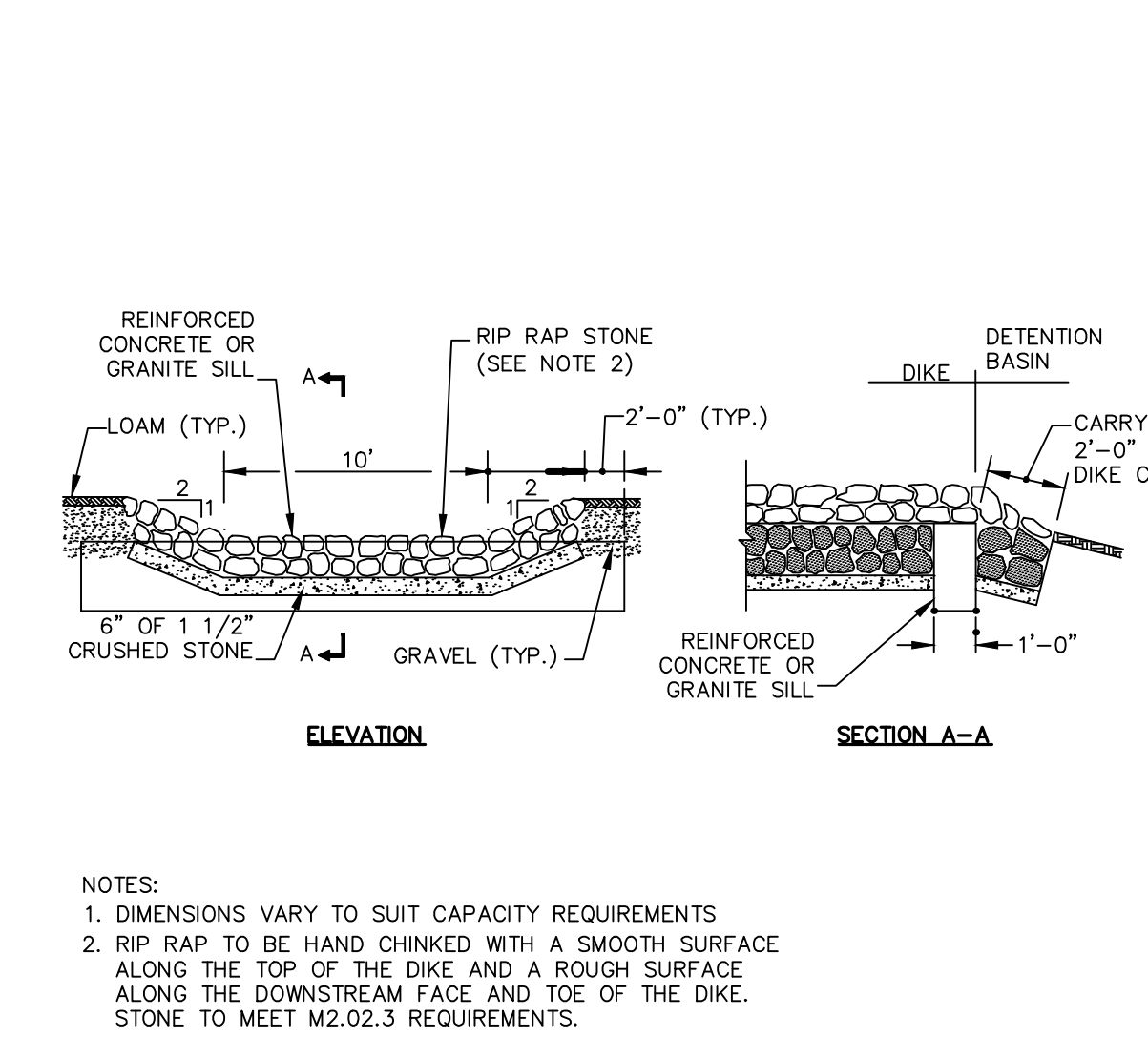
OUTLET CONTROL STRUCTURE DETAIL

JDE



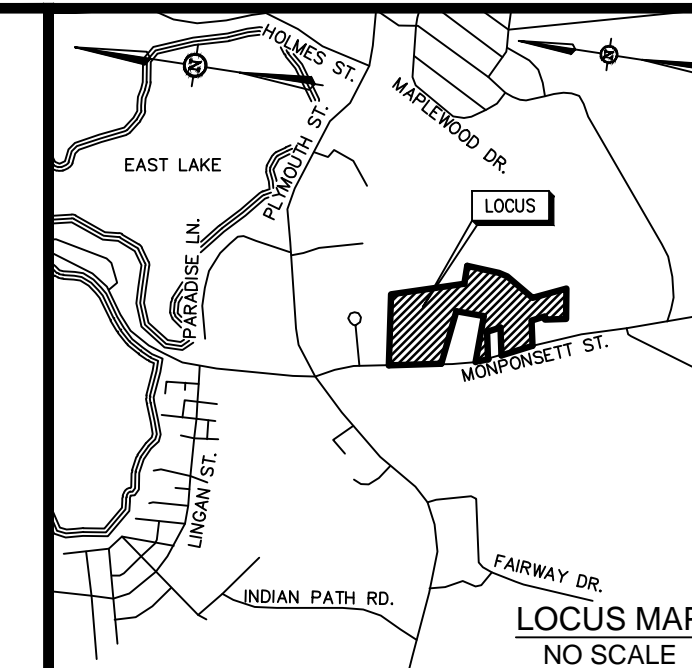
OUTLET CONTROL STRUCTURE DETAIL

JDE



SPILLWAY DETAIL

JDE



PERMITTING SET

No.	DATE	DESCRIPTION
1	7/10/2014	REFINE STORMWATER AND GRADING DESIGN, UPDATED WETLAND FLAGS, ADDITIONAL TOPO, MISC REVISIONS.
2	7/17/2014	BLDG LOT LINES, MISC. REVS.
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DESIGNED BY: EPJ/GWD
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 11 FOX RUN
 MARSHFIELD, MA 02050

CONSTRUCTION DETAILS PLAN III
 265 MONPONSETT ST.
 IN
 HALIFAX
 (PLYMOUTH COUNTY)
 MASSACHUSETTS

JUNE 5, 2014



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